



University of Colorado
Denver | Anschutz Medical Campus

Facilities Management

Facilities Projects

Campus Services Building
1945 Wheeling Street
Mail Stop F418
Aurora, Colorado 80045
o 303-724-0623
f 303-724-0931

LSC Repair Upper Plaza

Project Number – 21-164329

Wednesday, June 28, 2023

ADDENDUM 2

QUESTIONS/RESPONSES:

Please see attachment containing all RFI's and corresponding responses submitted to date.

END OF ADDENDUM 2

LAW									
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Item	Reference (Dwg / Spec - Sheet Number or Spec Section Number)	Design Phase	Date of comment	Comment by	Comment	Response	Response Date	Response by	Resolution (Description of action taken to resolve comment & status of comment)
1									
1		CD	14-Jun-23	Kiewit	Can you please provide the weight limit of the existing plaza for demolition/removals equipment and staged construction materials?	The weight limit on the plaza is 100 pounds per square foot	22-Jun-23	Zoe Peters - AW	
2		CD	14-Jun-23	Kiewit	Can you please confirm CU Denver will provide an on-site location for storage of the remove/replace materials such as planters and benches?	Onsite storage will be provided by CU. The contents of the planters will need to be removed and the containers will be stored onsite under this contract.	28-Jun-23	CU Denver	
3		CD	14-Jun-23	Kiewit	How often will the architect and structural engineer observe the structural deck during demolition activities?	Architect and engineer will provide 3 site observations and work around demolition and contractor's schedule.	21-Jun-23	Zoe Peters - AW	
4		CD	14-Jun-23	Kiewit	Can you please confirm the allowable work hours and days of the week for this location?	There are no established work hours for the project. Coordinate the schedule with CU's Construction Manager.	28-Jun-23	CU Denver	
5		CD	14-Jun-23	Kiewit	Can you please confirm if there are any noise restrictions before/during/after work hours?	There are no noise restrictions. Coordinate all activity with CU's Construction Manager.	28-Jun-23	CU Denver	
6		CD	14-Jun-23	Kiewit	Can you please confirm the grand stair may be closed throughout construction duration?	It is anticipated that the grand stair will only be closed during the demolition and construction of the grand stair. To be confirmed with CU Denver code official. Plaza will need two means of egress. One being the west stairway, and the second being the elevator lobby. Contractor to maintain access to these egress points.	21-Jun-23	Zoe Peters - AW	
7		CD	14-Jun-23	Kiewit	Can you please confirm the back stair may be closed throughout construction duration?	No, back (west) stairway needs to remain open for egress.	21-Jun-23	Zoe Peters - AW	
8		CD	14-Jun-23	Kiewit	Can you confirm that a street closure permit/metered parking closure permit will be required to use laydown on Lawrence St?	Bagging of parking meters can be arranged through the City of Denver. CU can provide supporting documentation. The lower plaza can be utilized as a laydown area. The General Contractor is required to remove the pavers, not exceed load capacity and restoring the lower plaza to it's original condition.	28-Jun-23	CU Denver	
9		CD	14-Jun-23	Kiewit	Does ADA accessible temporary access need to be provided at all times from the elevator lobby to the apartments adjacent to the plaza?	Yes	21-Jun-23	Zoe Peters - AW	

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10		CD	14-Jun-23	Kiewit	Has CU Denver considered temporary relocation of occupants whose primary entrance/egress is through the construction area of the plaza?	The building residents cannot be relocated.	28-Jun-23	CU Denver	
11		CD	14-Jun-23	Kiewit	Can you please confirm the extent/length of plumbing pipe to be replaced at each drain location?	No, provide a cost per lineal foot for elbow and pipe replacement. Assume 100 feet as part of the base bid.	21-Jun-23	Zoe Peters - AW	
12		CD	14-Jun-23	Kiewit	Can you confirm that the investigation of the planter waterproofing will not require any work or investigation within the planters?	Confirmed, no work to be done inside the existing planters.	21-Jun-23	Zoe Peters - AW	
13	SD-101	CD	14-Jun-23	Kiewit	Drawing SD-101, key note 3 states that the existing topping varies from 2" to 8", however, the general note 3 on SA-102 states the minimum replacement depth is 3". Is the finished slope/surface going to be 1" higher in the areas with existing 2" depth?	Yes	21-Jun-23	Zoe Peters - AW	
14	SA-102	CD	14-Jun-23	Kiewit	Drawing SA-102, can you please provide key notes 15 and 16 which are shown on the plan and not in the key notes list?	See attached drawing SA-102 that contains notes 15 & 16 in the key notes list.	21-Jun-23	Zoe Peters - AW	
15	SA-102	CD	14-Jun-23	Kiewit	Drawing SA-102, key note 3, can you confirm the only location of the 2" expansion joint is where indicated by key note 3, and all other expansion joints labeled "exp" on the drawings are the ½" expansion joint detail?	Yes	21-Jun-23	Zoe Peters - AW	
16	SA-102	CD	14-Jun-23	Kiewit	Drawing SA-102, Are all ½" expansion joint locations shown required for thermal expansion? Is it possible to reduce the number of ½" expansion joints?	No, all 1/2" expansion joints are required for thermal expansion and cannot be reduced.	21-Jun-23	Zoe Peters - AW	
17	SA-102	CD	14-Jun-23	Kiewit	Drawing SA-102, can the control joint pattern be adjusted/alterd to simplify the pattern?	No, control joints are aligned with unique site features. Contractor can submit alternate pattern for consideration prior to bid completion.	21-Jun-23	Zoe Peters - AW	
18	SA-102	CD	14-Jun-23	Kiewit	Drawing SA-102, an area drain is shown adjacent to a ½" expansion joint. Can you please confirm this joint may be moved, to allow for concrete coverage around entire drain body?	Drain locations are existing locations to be reused. Contractor can work with design team to adjust EJ locations as needed for this purpose.	21-Jun-23	Zoe Peters - AW	
19		CD	14-Jun-23	Kiewit	Is a water test of the waterproofing system required of the entire plaza prior to placement of concrete? If so, what is the minimum area for testing?	This would be a means and methods for the contractor but it would be best practice for the contractor to do an entire plaza water test prior to placement of concrete.	21-Jun-23	Zoe Peters - AW	

Item	Reference (Dwg / Spec - Sheet Number or Spec Section Number)	Design Phase	Date of comment	Comment by	Comment	Response	Response Date	Response by	Resolution (Description of action taken to resolve comment & status of comment)
20	SA-103	CD	14-Jun-23	Kiewit	Drawing SA-103, detail 2, is the rubber expansion joint product compatible with the hot applied reinforced waterproofing membrane? Does the waterproofing membrane stop/start on either side of the rubber expansion joint to allow movement?	The specified expansion joint product is compatible with a hot applied reinforced waterproofing membrane (see question 43). The waterproofing will continue across the expansion joint. Follow manufacturers recommendation to provide a water proof solution for integration of the expansion joint. Contractor is responsible for water proof warranty.	22-Jun-23	Zoe Peters - AW	
21	SA-103	CD	14-Jun-23	Kiewit	Drawing SA-103, detail 2, please confirm the threshold is to be cut to fit the expansion joint at the door location.	Yes, the threshold is to be cut to fit the expansion joint at the door location.	21-Jun-23	Zoe Peters - AW	
22	SA-103	CD	14-Jun-23	Kiewit	Drawing SA-103, detail 3, is the lower portion of the existing area drain bodies cast into the structural slab? If so, what amount of structural demo is required to place new area drain bodies?	The new drain locations are at existing drain locations. Existing drawings will be demo'ed which will allow new drains to be inserted and concrete filled for a secure installation.	21-Jun-23	Zoe Peters - AW	
23	SA-103	CD	14-Jun-23	Kiewit	Drawing SA-103, detail 4, in our experience cast-in stair nosing do not perform long-term as well as post-applied or tooled stair nosing. Is a tooled stair nosing an allowable substitute?	Tooled stair nosing is an allowable substitution. Tooled stair nosing must meet code. A mock up will be required for owner to approve prior to installation.	21-Jun-23	Zoe Peters - AW	
24	SA-103	CD	14-Jun-23	Kiewit	Drawing SA-103, detail 5, can you please confirm this expansion joint width should be ½" to match the notes on drawing SA-102?	Yes, the expansion joint width should be 1/2" per the notes on drawing SA-102.	21-Jun-23	Zoe Peters - AW	
25	SA-103	CD	14-Jun-23	Kiewit	Drawing SA-103, detail 6, can you please provide a vertical termination detail for the waterproofing membrane? Will it require a termination bar?	A termination bar is not required for a hot applied waterproof membrane, protection board will be held in place by concrete.	21-Jun-23	Zoe Peters - AW	
26	SA-103	CD	14-Jun-23	Kiewit	Drawing SA-103, detail 7, in our experience, saw-cut control joints do not control random slab cracks as well as tooled joints. Are tooled joints an allowable substitute?	Yes, tooled control joints are acceptable. A mock up will be required for owner approval prior to installation.	21-Jun-23	Zoe Peters - AW	
27	SA-103	CD	14-Jun-23	Kiewit	Drawing SA-103, detail 8 & 9, does the existing grand stair have a waterproofing system under the stair treads/above the structural slab? If so, does that waterproofing system need to be replaced as a part of the alternate #1 pricing? Please provide waterproofing system products and details for slab and at hook bars for new handrail curb.	Yes, it is currently waterproofed. A new water proof systems shall be applied. The system shall match the upper plaza. Reinforcing for concrete stairs are provided in details 8, 9 and 11 on sheet SA-103.	21-Jun-23	Zoe Peters - AW	
28	SA-103	CD	14-Jun-23	Kiewit	Drawing SA-103, detail 9, note states 3" minimum and 6" maximum, which will not work for the stair shape/depth because the stair risers are 6½" high. Can you confirm depth may exceed 6"?	Concrete depth may exceed 6" in totality. Note is in reference to possible concrete depth at base of riser which may vary from 3" to 6" plus depth of stair.	21-Jun-23	Zoe Peters - AW	

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29		CD	14-Jun-23	Kiewit	Alternate #1 current stair depth/risers/landing do not comply with code requirements. Can you please confirm remove/replace is not required to meet code requirements?	Per CU Denver AHJ, the stair shown is a replacement of existing stair and does not have to meet current code but does meet code to when the stair was constructed.	21-Jun-23	Zoe Peters - AW	
30		CD	14-Jun-23	Kiewit	Alternate #1 some pavers at the bottom of the grand stair are damaged. Does CU Denver have any spare/replacement pavers?	Assume no attic stock is available.	28-Jun-23	CU Denver	
31		CD	14-Jun-23	Kiewit	The wall adjacent to the grand stair has a railing on top of it. Does the railing meet fall-protection heights before / after plaza replacement?	The railing on top of the wall adjacent to the grand stair currently meets fall protection heights at 42". The contractor is responsible to ensure that the new concrete topping maintains a railing height of 42" to meet fall-protection requirements.	22-Jun-23	Zoe Peters - AW	
32		CD	14-Jun-23	Kiewit	Can you confirm if the existing horizontal air grilles may be covered or closed during demolition?	The horizontal grilles are air intakes for a generator that must test run periodically. Grilles may be covered, however covers must be removed during testing. Coordinate with CU's Construction Manager.	28-Jun-23	CU Denver	
33		CD	14-Jun-23	Kiewit	Please confirm that a VE log will need to be submitted with the bid should the base scope exceed \$550,000.	A VE log may be created but cannot be submitted. Only State-approved forms shall be submitted.	28-Jun-23	CU Denver	
34	G-002	CD	21-Jun-23	Kiewit	Please provide drawing G-002	Yes, see attached drawing G-002	21-Jun-23	Zoe Peters - AW	
35		CD	21-Jun-23	Kiewit	Please provide electrical drawings for Alternate #1 - Lit handrail	CU Denver to Confirm, No electrical drawings existing as part of the bidding package. The new handrails will tie into existing electrical from existing lit handrails.	21-Jun-23	Zoe Peters - AW	
36		CD	21-Jun-23	Kiewit	Please provide plumbing drawings for new deck drains	No plumbing drawings existing as part of the bidding package. The plaza contains the same number of drains as existing. New drains are specified and will be located and tie into existing drain lines.	21-Jun-23	Zoe Peters - AW	
37	Spec Section 23 05 53	CD	21-Jun-23	Kiewit	Spec Section 23 05 53 is provided for IDENTIFICATION FOR PIPING AND EQUIPMENT; please confirm if this scope exists as it is not shown on the current drawings.	This scope exists with existing drain piping and repaired drain piping for the plaza drains.	21-Jun-23	Zoe Peters - AW	
38	Spec Section 23 05 53	CD	21-Jun-23	Kiewit	Spec Section 23 05 53 is provided for GENERAL-DUTY VALVES FOR PIPING; please confirm if this scope exists as it is not shown on the current drawings.	This spec section is for possible work on existing drain piping for the plaza if required. Contractor to confirm pipe conditions and if repair is required.	21-Jun-23	Zoe Peters - AW	
39	Spec Section 12 93 00	CD	21-Jun-23	Kiewit	Spec Section 12 93 00 is provided for SITE FURNISHINGS; please confirm if this scope exists as it is not shown on the current drawings.	There are no new site furnishings in the scope. See note 2 sheet SD-101. Existing site furnishings shall be removed and reinstalled with the new patio work.	21-Jun-23	Zoe Peters - AW	

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40	Spec Section 09 96 00	CD	21-Jun-23	Kiewit	Spec Section 09 96 00 is provided for HIGH-PERFORMANCE COATINGS; please confirm if this scope exists as it is not shown on the current drawings.	Contractor shall provide a penetrating sealer on the concrete, see drawings SA-103 Details: 1,2, and 3.	21-Jun-23	Zoe Peters - AW	
41	Spec Section 08 71 00	CD	21-Jun-23	Kiewit	Spec Section 08 71 00 is provided for DOOR HARDWARE; This specification only provides information on locks, coordinators and other hardware. Please provide information for the threshold scope to be provided	See drawings SA-102 key note 5 for information on door threshold.	21-Jun-23	Zoe Peters - AW	
42	SA-102	CD	21-Jun-23	Kiewit	Please provide elevations and extents of work for keynote 14/SA-102	See sheet SA-103 detail 6 for more information. This detail is for all patio perimeter locations at concrete and brick.	21-Jun-23	Zoe Peters - AW	
43	SA-103	CD	21-Jun-23	Kiewit	Please provide a specification for the expansion joint scope shown on detail 2/SA-103	See attached specification sheet for expansion joint	22-Jun-23	Zoe Peters - AW	
44		CD	21-Jun-23	Kiewit	The advertisement to bid list minimum requirements to bid this project. Do bidders need to provide proof of minimum requirements with our bid form?	No, proof isn't required for the submittal, it was already done during the SCPP process. Note- only SCPP MEP subcontractors may be used unless pre-bid approval to use others is granted by CU.	28-Jun-23	CU Denver	
45		CD	21-Jun-23	Kiewit	The advertisement to bid provided in the project manual does not match the project advertisement to bid. Please provide which document supersedes.	The project manual contains OSA forms to be used as reference. The advertisement to bid is the completed form containng relevant project information.	28-Jun-23	CU Denver	
46		CD	21-Jun-23	Kiewit	The information for bidders in the project manual is not filled out, will this be updated	See above.	28-Jun-23	CU Denver	
47	Bid Form	CD	21-Jun-23	Kiewit	The bid form in the project manual states the institution/agency as GFE, will this be updated to CU Denver?	GFE is an internal identifier. You may add CU Denver to any submitted documents.	28-Jun-23	CU Denver	
48	Bid Bond Form	CD	21-Jun-23	Kiewit	The bid bond form in the project manual states the institution/agency as GFE, will this be updated to CU Denver?	See above.	28-Jun-23	CU Denver	
49	Bid Alternates Form	CD	21-Jun-23	Kiewit	The bid alternates form provided in the project manual does not match the RFP Bid alternates form. Please provide which document supersedes	Both versions are acceptable. Bidders are required to provide all alternates with their submittal.	28-Jun-23	CU Denver	
50	Form UI-1	CD	21-Jun-23	Kiewit	State form UI-1 in the project manual states the institution/agency as GFE, will this be updated to CU Denver?	See above.	28-Jun-23	CU Denver	
51	The Subcontractors Statement	CD	21-Jun-23	Kiewit	Can the Subcontractors statement of experience document be submitted after project award?	Note- only SCPP MEP subcontractors may be used unless pre-bid approval to use others is granted by CU. Verification of experience with other trades may be done post-bid.	28-Jun-23	CU Denver	
52	Contractors Design/Bid/Build Document	CD	21-Jun-23	Kiewit	The Contractors Design/Bid/Build agreement in the project manual states the Department ID as GFE, will this be updated to CU Denver?	See above.	28-Jun-23	CU Denver	

Item	Reference (Dwg / Spec - Sheet Number or Spec Section Number)	Design Phase	Date of comment	Comment by	Comment	Response	Response Date	Response by	Resolution (Description of action taken to resolve comment & status of comment)
53	Notice to Proceed Document	CD	21-Jun-23	Kiewit	The Notice to Proceed Document in the project manual states the institution/agency as GFE, will this be updated to CU Denver?	See above.	28-Jun-23	CU Denver	
54	Performance bond Document	CD	21-Jun-23	Kiewit	The Performance Bond Document in the project manual states the institution/agency as GFE, will this be updated to CU Denver?	See above.	28-Jun-23	CU Denver	
55	Labor & Material Bond Document	CD	21-Jun-23	Kiewit	The Labor & Material Bond Document in the project manual states the institution/agency as GFE, will this be updated to CU Denver?	See above.	28-Jun-23	CU Denver	
56		CD	21-Jun-23	Kiewit	Please confirm if jobsite management team will be provided office space in the adjacent CU Denver building or if other accomodations will need to be incorporated into the bid.	CU will provide office space to the general contractor. Note- only paid parking is available. CU recommends utilizing the nearby performing arts parking garage. The General Contractor must provide for the cost of parking.	28-Jun-23	CU Denver	
57		CD	21-Jun-23	Kiewit	The guard railing around the project is intended to remain in place throughout construction. Please confirm no work will be required with these railings except the grand staircase handrail as shown in the drawings.	Yes, no work will be required on the guard rails, only the railings on the grand staircase require work.	21-Jun-23	Zoe Peters - AW	
58		CD	21-Jun-23	Kiewit	The existing exposed concrete walls have exposed honeycombs and tie holes. Please confirm there is no requirement to patch over these holes.	No, the existing exposed concrete walls will not be patched.	21-Jun-23	Zoe Peters - AW	
59	Revised Bidding and Award Schedule	CD	21-Jun-23	CU Denver	Revisions to the Bidding and Award Schedule	Date Email Answers Issued: 6/29/23 Sealed Bids Due: 7/12/23, 2:00pm Bid Results Published: 7/13/23, 5:00pm Contract Approval (Projected): 8/2/23 Anticipated GC Start: 8/16/23	21-Jun-23	CU Denver	

ABBREVIATIONS:

A.F.F.	ABOVE FINISH FLOOR	FT	FEET	OFF	OFFICE	UCDHSC	UNIVERSITY OF COLORADO
A.C.T.	ACOUSTIC CEILING TILES	FIN	FINISH	O.C.	ON CENTER		AT DENVER HEALTH
A.C.	AIR CONDITIONING	F.F.	FINISH FLOOR	OPG	OPENING		SCIENCE CENTER
ADJ.	ADJUSTABLE	F.A.P.	FIRE ALARM PANEL	OPH	OPPOSITE HAND	UC	UNDER COUNTER
AHEC	AURARIA HIGHER EDUCATION CENTER	F.E.	FIRE EXTINGUISHER	PNT	PAINTED/PAINT	UNFIN	UNFINISHED
AL	ALUMINUM	F.E.C.	FIRE EXTINGUISHER CABINET	PTN	PARTITION	V.I.F.	VERIFY IN FIELD
ALT	ALTERNATE	FL	FLOOR/FLOOR LINE	PL	PLASTER	VERT	VERTICAL
@	AT	F.D.	FLOOR DRAIN	PLT	PLATE	V.C.T.	VINYL COMPOSITION TILE
				PLWD	PLYWOOD		
B.M.	BENCH MARK	GALV.	GALVANIZED	PREFIN	PREFINISHED	W.C.	WATER CLOSET
BLK	BLOCK	GA	GAUGE	REF	REFERENCE	W/	WITH
BD	BOARD	GEN	GENERAL	REQD	REQUIRED	W/O	WITH OUT
BLDG	BUILDING	G.C.	GENERAL CONTRACTOR	RESIL	RESILIENT	WD	WOOD
B.B.	BULLETIN BOARD	G.B.	GRAB BAR	RM	ROOM		
		GR	GRADE				
CCI	COLORADO CONSTRUCTIONAL INDUSTRIES (FURNITURE MANUF)	GYP. BD.	GYPSUM BOARD				
CPT	CARPET	HWD	HARD WOOD				
CLK	CAULKING	HT	HEIGHT				
C.B.	CHALK BOARD	H.M.	HOLLOW METAL				
CITY	CITY OF DENVER						
CLG	CEILING	INSUL	INSULATION	SAN	SANITARY		
CTR	CENTER	INT.	INTERIOR	SCH	SCHEDULE		
C.T.	CERAMIC TILE			SECT.	SECTION		
CLR	CLEAR	JAN	JANITOR	SHT	SHEET		
COL	COLUMN	JT	JOINT	SIM	SIMILAR		
CONC	CONCRETE			S.D	SMOKE DETECTOR		
CONST	CONSTRUCTION	KIT	KITCHEN				
CJ	CONTROL JOINT			SPR.	SPRINKLER		
CONT	CONTINUOUS/CONTINUE			SF	SQUARE FOOT		
CONTR	CONTRACTOR	LAB	LABORATORY	S.S.	STAINLESS STEEL		
CORR.	CORRIDOR	LAM	LAMINATE	STD	STANDARD		
C.U.H.	CABINET UNIT HEATER	LGTH	LENGTH	STL	STEEL		
		LF	LINEAL FOOT	STO	STORAGE		
DET/DTL	DETAIL	L.S.D.	LIQUID SOAP DISPENSER	STR	STRUCTURAL		
DIA	DIAMETER			SUSP	SUSPENDED		
DIM	DIMENSION			SYM	SYMMETRIC		
DN	DOWN	MFR	MANUFACTURER	T.B.	TACK BOARD		
D.S.	DOWN SPOUT	MATL	MATERIAL	TEL	TELEPHONE		
DWG	DRAWING	MAX	MAXIMUM	T.T.D.	TOILET TISSUE DISPENSER		
D.F.	DRINKING FOUNTAIN	MECH	MECHANICAL	T.O.C.	TOP OF CONCRETE		
		MTL/MET	METAL	T.O.D.	TOP OF DECK		
ELEC	ELECTRICAL	MICR	MICROWAVE	T.O.M.	TOP OF MASONRY		
E.W.C.	ELECTRIC WATER COOLER	MIN	MINIMUM	T.O.S.	TOP OF STEEL		
ELEV	ELEVATION	MISC	MISCELLANEOUS	TYP	TYPICAL		
EQ	EQUAL			T.D.R.	TOWEL DISPENSER		
EQUIP	EQUIPMENT	NONCOM	NON-COMBUSTIBLE		& RECEPTACLE		
EXH.	EXHAUST	N.I.C.	NOT IN CONTRACT				
EXIST	EXISTING	N.T.S.	NOT TO SCALE				
E.J.	EXPANSION JOINT	NO.	NUMBER				
EXT	EXTERIOR						

SYMBOLS:

NO WORK THIS AREA		ADDENDUM DELTA	
MEANS OF EGRESS EXIT DISCHARGE		DETAIL SECTION	
ROOF PITCH		WALL & BUILDING SECTIONS	
ELEVATION TAG		DETAIL BUBBLE	
WINDOW TAG		REVISION CLOUD	
DOOR TAG			
KEYNOTE TAG			
TOILET ACCESSORIES AND/OR EQUIPMENT TAG			
KEY NOTE LEADER			
INTERIOR ELEVATION SHEET NUMBER		DRAWING TITLE AND NUMBER	8 MAIN LEVEL PLAN
ROOM NAME AND NUMBER		1/8" = 1'-0"	REF: REF:
FLOOR TRANSITION TAG		NORTH ARROW	
SPOT ELEVATION		TRUE NORTH	
WALL TYPE NUMBER			

GENERAL NOTES:

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE DEMOLITION WITH NEW WORK REQUIREMENTS AND REFER TO THE PROJECT MANUAL FOR ALL PATCHING AND FINISHING REQUIREMENTS
- PERMITS: CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL REQUIRED PERMITS AND APPROVALS PRIOR TO START OF CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL INSPECTIONS, SIGNATURES AND SIGN-OFFS AS REQUIRED
- SITE EXAMINATION: GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VISIT AND EXAMINE THE SITE AND BUILDING IN EVERY DETAIL AS IT PERTAINS TO THE PROJECT PRIOR TO SUBMITTING A BID PROPOSAL
- DISCREPANCIES: ANY DISCREPANCIES DISCOVERED BY THE GENERAL CONTRACTOR OR BY THE SUBCONTRACTORS, BETWEEN DIMENSIONS, OR CONFLICTS UNFORESEEN PREVIOUSLY SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT FOR CLARIFICATION
- BUILDING CODE COMPLIANCE: PERFORM ALL WORK TO COMPLY WITH APPLICABLE BUILDING CODES AND REGULATIONS. FOR BUILDING CONDITIONS THAT ARE NOT CONSTRUCTED TO MEET CURRENT BUILDING CODES, THE GENERAL CONTRACTOR IS TO PROVIDE ALTERNATE PRICING TO BRING ITEMS INTO CODE COMPLIANCE
- LONG LEAD ITEMS: THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR BEING FAMILIAR WITH THE PROJECT SCHEDULE AND DEADLINES, AND FOR ADVISING THE ARCHITECT FOR ALL LONG LEAD ITEMS. ORDER CONFIRMATION SHALL BE SUBMITTED WITH DELIVERY DATES. PROVIDE LEAD TIME ESTIMATES WITH ANY BID PROPOSALS. IT SHALL BE AT THE GENERAL CONTRACTORS EXPENSE IF ANY LONG LEAD ITEMS ARE DISCOVERED AFTER THE PROJECT BEGINS
- CLEAN UP: CLEANING OF GC EQUIPMENT SHALL BE LIMITED TO AREAS DESIGNATED BY THE PROJECT MANAGER. TRASH SHALL BE REMOVED AND SWEEPING/VACUUMING SHALL BE PROVIDED ON A CONTINUING BASIS THROUGHOUT THE CONSTRUCTION PROCESS. FINAL CLEANING SHALL BE PROVIDED BY THE CONTRACTOR
- PROTECTION OF EXISTING ITEMS: THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT ALL EXISTING CONSTRUCTION ON AND OFF SITE, AND SHALL BE HELD RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE CAUSED BY GENERAL CONTRACTOR OR ANY OF ITS SUBCONTRACTORS
- FIRE RATED ASSEMBLIES: ALL PENETRATIONS THROUGH FIRE RESISTIVE CONSTRUCTION SHALL BE CAULKED OR OTHERWISE SEALED WITH AN APPROVED FIRE SEALANT ASSEMBLY TO MAINTAIN THE REQUIRED AND/OR EXISTING FIRE RATING
- GENERAL CONTRACTOR (G.C.) IS RESPONSIBLE TO COORDINATE WITH THE UNIVERSITY PROJECT MANAGER AND CONDO BUILDING HOA FOR HOURS OF OPERATION, ALLOWABLE CONSTRUCTION TIMES AND CONSTRUCTION ACTIVITIES. THE G.C. SHALL ASSUME ALL RESPONSIBILITY FOR ALL SUB-CONTRACTORS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE DUMPSTER. THE G.C. SHALL COORDINATE WITH THE UNIVERSITY PROJECT MANAGER FOR LOCATION AND ALLOWABLE SIZE. THE G.C. IS RESPONSIBLE TO OBTAIN ALL REQUIRED PERMITS FOR DUMPSTER PER CITY REGULATIONS; CONTRACTOR SHALL DISPOSE OF ALL DEBRIS LAWFULLY

CODE DATA:

CODE:	2021 IBC	2021 IEBC
	2021 IMC	2021 IECC
	2020 NEC	2018 IPC
	2021 IFC	2017 ICC/ANSI A177.1

PROJECT DESCRIPTION (EXIST BUILDING CATAGORY LEVEL 1 PER IEBC): THE REMOVAL AND REPLACEMENT OF THE UPPER EXTERIOR PLAZA AND GRAND STAIRCASE CONCRETE TOPPING BETWEEN CU DENVER'S LAWRENCE STREET CENTER BUILDING AND THE CONDO BUILDING.

PER THE 2021 IEBC SECTION 602 ALTERATION - LEVEL 1, THIS PROJECT FALLS UNDER A LEVEL 1 ALTERATION AND THEREFORE ALLOWS FOR THE LIKE OF LIKE REPLACEMENT OF THE GRAND STAIRCASE. NEW HANDRAILS WILL BE COMPLIANT PER IBC AND ANSI. 602.1: LEVEL 1 ALTERATIONS INCLUDE THE REMOVAL AND REPLACEMENT OR THE COVERING OF EXISTING MATERIALS, ELEMENTS, EQUIPMENT, OR FIXTURES USING NEW MATERIALS, ELEMENTS, EQUIPMENT OR FIXTURES THAT SERVE THE SAME PURPOSE.

BUILDING ADDRESS: LAWRENCE STREET CENTER
1350/1380 LAWRENCE ST
DENVER, COLORADO 80217

BUILDING CONSTRUCTION: TYPE II-B (NO CHANGE FROM EXISTING)

PLAZA OCCUPANCY GROUP: B (150 GROSS) BASED ON BUILDING OCCUPANCY) (NO CHANGE FROM EXISTING)

CU DEN LSC BUILDING OCCUPANCY GROUP: B (150 GROSS) & A-3 (15 NET) (NO CHANGE FROM EXISTING)

LSC CONDO BUILDING OCCUPANCY GROUP: R-2 (200 GROSS) (NO CHANGE FROM EXISTING)

TOTAL UPPER PLAZA FLOOR AREA: 4,762 SF

FIRE-RESISTANCE RATING: (IBC TABLE 601)

STRUCTURE	0 HR
BEARING WALLS	
EXTERIOR	0HR
INTERIOR	0HR
INTERIOR PARTITIONS	0 HR
FLOOR	0 HR
ROOF	0 HR

SPRINKLER SYSTEM: BUILDING IS FULLY SPRINKLED (NO CHANGE FROM EXISTING)

EXIT ACCESS: EXIT ACCESS TRAVEL DISTANCE SHALL NOT EXCEED (B OCCUPANCY) 300' W/ AN AUTOMATIC SPRINKLER SYSTEM. (IBC TABLE 1017.2)

EXIT ACCESS TRAVEL DISTANCE SHALL NOT EXCEED (A OCCUPANCY) 250' W/ AN AUTOMATIC SPRINKLER SYSTEM. (IBC TABLE 1017.2)

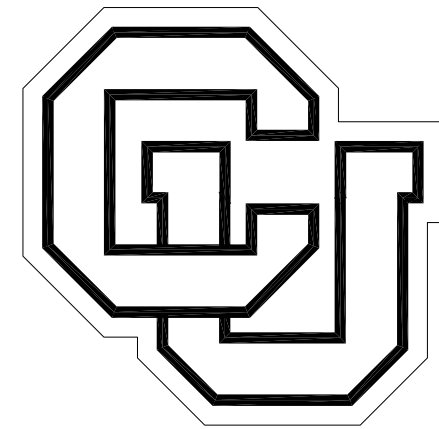
OUTDOOR AREAS: YARDS, PATIOS, OCCUPIED ROOFS, COURTS AND SIMILAR OUTDOOR AREAS ACCESSIBLE BY THE BUILDING OCCUPANTS SHALL BE ASSIGNED BY THE BUILDING OFFICIAL IN ACCORDANCE WITH THE ANTICIPATED USE. WHERE OUTDOOR AREAS TO BE USED BY PERSONS IN ADDITION TO THE OCCUPANTS OF THE BUILDING, MEANS OF EGRESS REQUIREMENTS FOR THE BUILDING SHALL BE BASED ON THE SUM OF THE OCCUPANT LOADS OF THE BUILDING PLUS THE OUTDOOR AREAS (IBC 1004.7)

AREA / OCC:	UPPER PLAZA:	4762 SF / 150 = 32 OCC
	LOWER PLAZA:	4525 SF / 150 = 31 OCC
	EXISTING CU DENVER BUILDING =	81 OCC
	RESIDENCE CONTRIBUTION =	28 OCC
	TOTAL:	172 OCC

EGRESS SIZING: STAIRWAY SIZING CALCULATION FACTOR IS, IN INCHES, IS .3" PER OCCUPANT. (IBC 1005.3.1)
(172 OCCUPANTS / 2) * (.3) = 26" REQUIRED
(1) STAIR @ 60" (NO CHANGE)
(1) STAIR @ 137" (NO CHANGE)

NUMBER OF EXITS: 1-500 OCCUPANTS = 2 EXITS (IBC TABLE 1006.3.3)

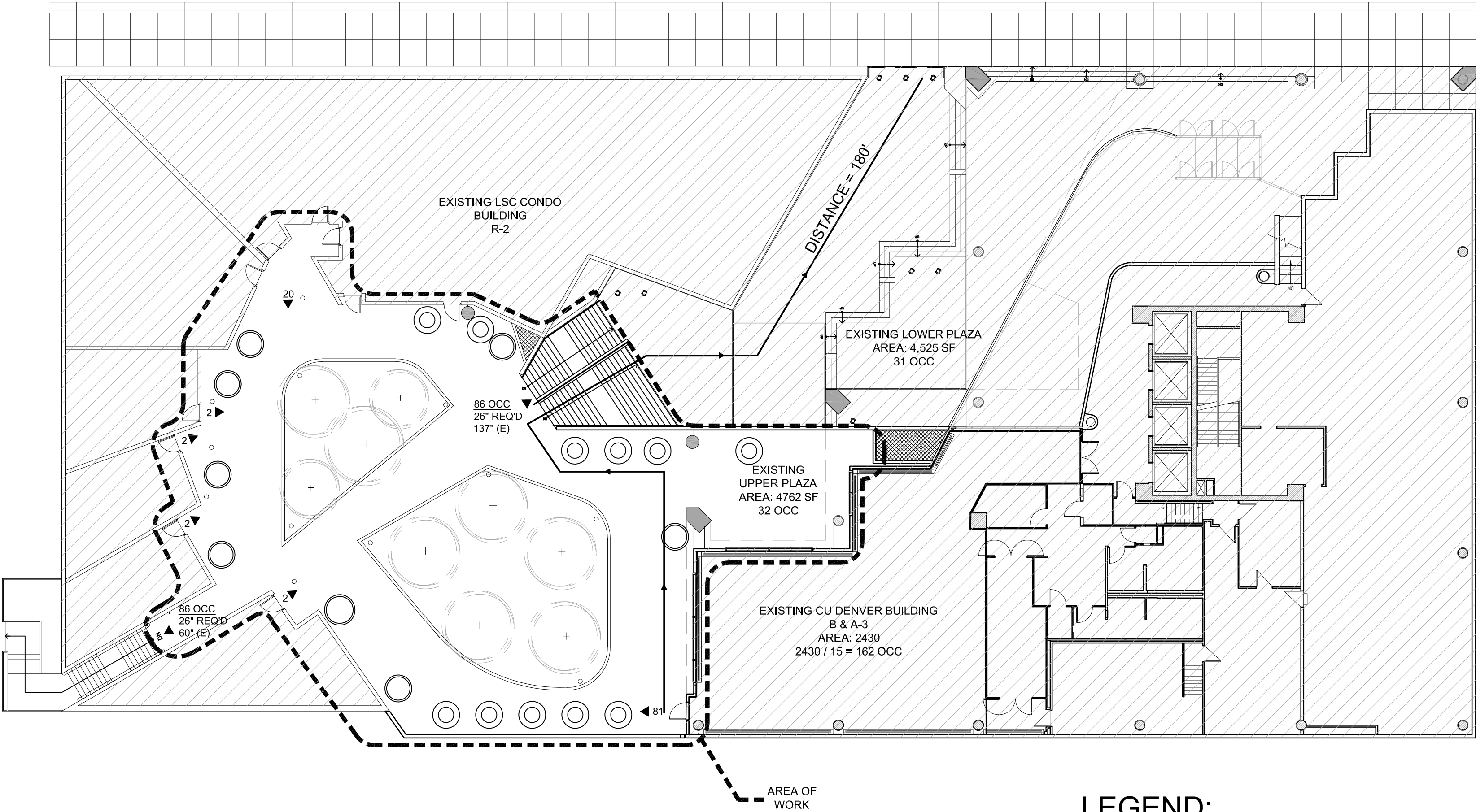
EXIT TRAVEL DISTANCE: REQ'D = 200' (NON-SPRINKLED) PROVIDED = 180'



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STATE PROJECT # 21-164329

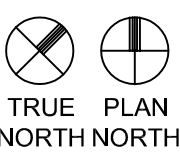


LEGEND:

- EXIT PATH
- EGRESS TRAVEL DISTANCE
- NO WORK THIS AREA

1 OVERALL PLAZA CODE PLAN

N.T.S.



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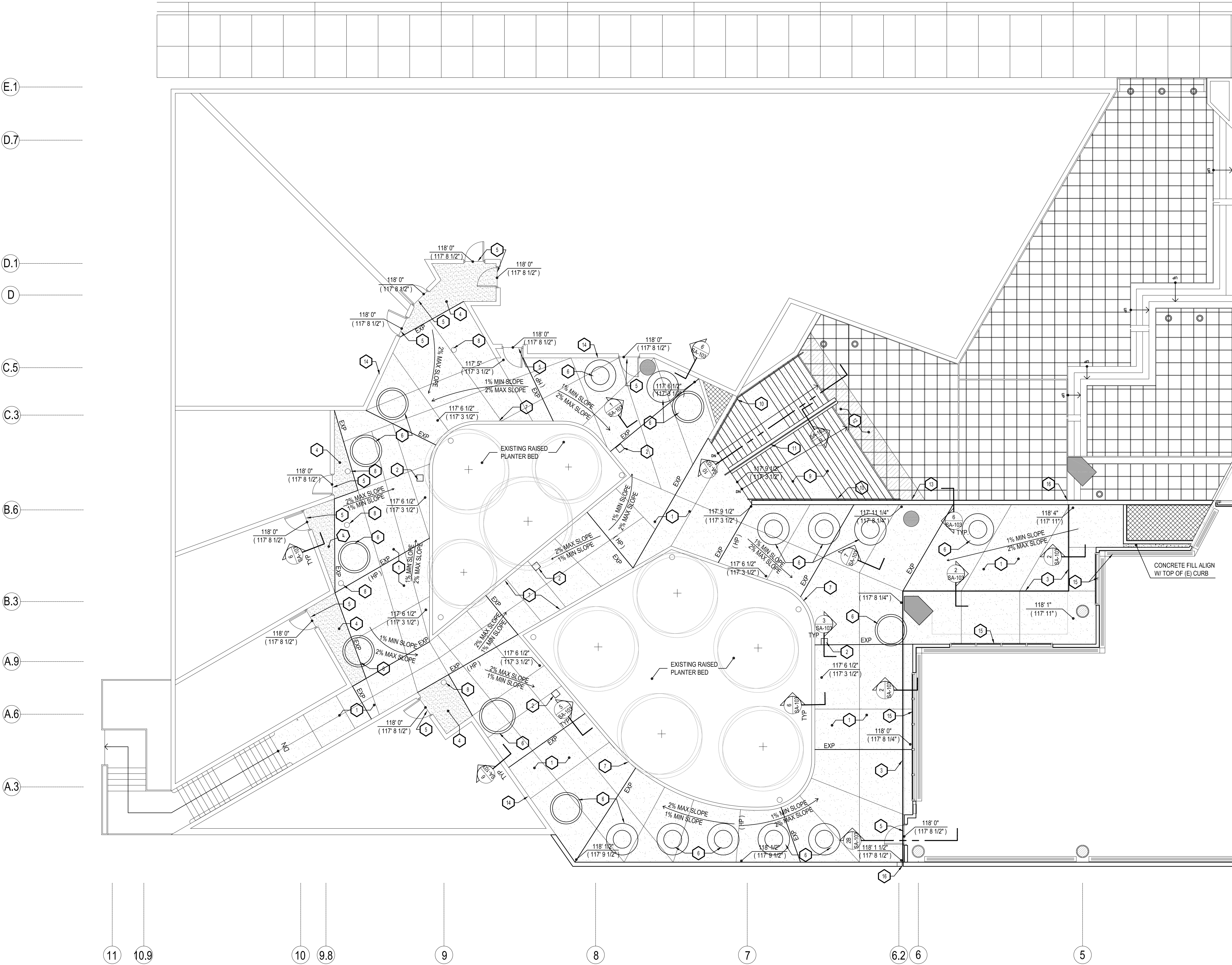
DATE	DESCRIPTION
10-14-22	90% CONSTRUCTION DOCUMENTS
01-27-23	100% CONSTRUCTION DOCUMENT

DRAWN BY: EN	CHECKED BY: MB
PROJECT: 2142LSC	INITIAL DATE: DEC 2021

GENERAL NOTES, SYMBOLS,
ABBREVIATIONS, CODE

G-002

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GENERAL NOTES:

- DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. ANY DISCREPANCIES IN DRAWINGS AND/OR EXISTING CONDITIONS SHOULD BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.
- ALL ROUGH AND FINISH CONSTRUCTION SHALL BE IN COMPLIANCE WITH GOVERNING CODES AND REGULATIONS AS A MINIMUM STANDARD.
- REFER TO SHEET G-002 FOR PROJECT AREA OF WORK.
- CONCRETE TOPPING TO BE MIN 3" DEPTH AND MAX 6" DEPTH.
- SLOPE OF CONCRETE TOPPING TO BE MIN 1% SLOPE AND MAX 2% SLOPE.
- SEE PROJECT SPECS. FOR CONCRETE MIXTURES, WATER PROOFING AND QUALITY OF PROJECT CONSTRUCTION.
- ALL WORK TO BE PERFORMED DURING WORK HOURS AND SCHEDULED WITH CU DENVER AND HOA.
- ACCESS TO ALL APARTMENTS MUST BE COORDINATED WITH CU PM AND HOA RESIDENTS.

PLAN KEY NOTES:

- PROVIDE AND INSTALL NEW CONCRETE TOPPING WITH FIBER MESH PER SPECIFICATIONS, DEPTH VARIES 3" MIN - 6" MAX, SLOPE TO AREA DRAINS. RE: SPECS
- PROVIDE AND INSTALL NEW DRAINS PER SPECIFICATIONS @ NEW DRAINS TO TIE TO EXISTING DRAIN PIPES BELOW.
- 2" CONCRETE BUILDING EXPANSION JOINT. SEE EXP JT. DETAIL
- PROVIDE AND INSTALL NEW PIGMENTED CONCRETE TOPPING, PROVIDE AND INSTALL NEW THRESHOLD. RE: SPECS
- PROVIDE AND INSTALL NEW PEMKO 273X224 AFGT OR EQUIV THRESHOLD AT DOOR. PROVIDE AND INSTALL NEW SILL PAN
- RE-INSTALL EXISTING PLANTS AND PLANTERS.
- (E) PLANTER WALL TO REMAIN, PROVIDE AND INSTALL NEW BACKER ROD & SEALANT AT PERIMETER.
- (E) LIGHT BOLLARD TO REMAIN, PROTECT DURING CONSTRUCTION.
- PROVIDE AND INSTALL NEW CONCRETE STAIR TOPPING.
- PROVIDE AND INSTALL NEW WALL MOUNTED STL. HANDRAIL, HANDRAIL HAS INTEGRATED LIGHTING SEE DETAIL.
- PROVIDE AND INSTALL NEW CENTER STL HANDRAIL, HANDRAIL HAS INTEGRATED LIGHTING SEE DETAIL. REUSE ELECTRICAL WIRING FOR NEW LIT HANDRAIL.
- REINSTALL 4" OR AS NEEDED BY G.C. PULLED BACK FROM BOTTOM OF STAIR (E) PAVER ASSEMBLY COMPLETE, PROVIDE AND INSTALL REPLACEMENT PAVERS IF DAMAGED.
- (E) ELECTRICAL CONDUIT TO REMAIN, PROTECT DURING CONSTRUCTION
- WATERPROOF AND FLASH TO UNDERSIDE OF BRICK TYP. AT CONDOS
- WATERPROOF AND FLASH TO UNDERSIDE OF STOREFRONT
- NEW EXPANSION JOINT TO CONTINUE VERTICALLY UP (E) WALL

LEGEND:

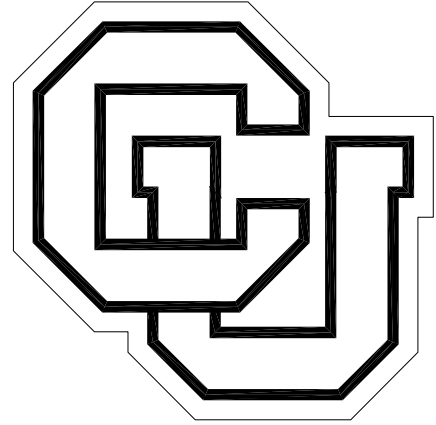
- EXIST WALL, PLANTER
- 2" EXPANSION JOINT
- 3/4" CONC. EXPANSION
- 3/4" CONC. CONTROL JOINT
- EXIST LOWER PATIO PAVERS

ELEVATION

TOPPING FINISH
TOP OF STR.

XX' - X"
(XX' - X")

ELEVATION HEIGHTS AND STR. HEIGHTS ARE FROM ORIGINAL CONSTRUCTION DOCUMENTS DATED MAY 4, 1981



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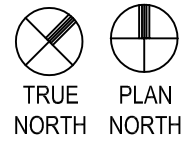
DRAWN BY: EN CHECKED BY: MB
PROJECT: 2142LSC INITIAL DATE: DEC 2021

PLAZA PLAN

SA-102

1 UPPER PLAZA PLAN

SCALE: 1/8" = 1'-0"





TECHNICAL DATA SHEET

WILLSEAL® COLOR CORESEAL H

Flexible Closed Cell Foam,
Primary Horizontal Seal

PRODUCT DESCRIPTION

Willseal® Color Coreseal H is a lightweight, preformed closed-cell ethylene vinyl acetate (EVA) copolymer foam with a pre-cured, traffic-rated factory-applied sealant coating. It is designed to provide a watertight, dust-proof, airtight, noise reducing, thermally insulating, and UV stable primary seal that does not require invasive anchoring for installation.

BASIC USES

Typically used as an external joint sealant, Willseal Color Coreseal H is engineered to perform as a primary joint sealant in horizontal applications. It has a colorized silicone skin on the exposed face to ensure chemical and puncture resistance in a waterproof joint. Due to its strong closed-cell structure, it has excellent compression, tension, and shear capabilities. The following are acceptable applications for Willseal Color Coreseal H:

- Horizontal expansion joints
- Below grade connections
- Highway longitudinal and transverse joints
- Bridge and parking structure expansion joints
- Seismic, large, and retrofit joints
- Larger joints requiring an architectural finish

FEATURES & BENEFITS

Willseal Color Coreseal H is a compressible system that is impermeable to water and provides a watertight seal in dynamic joints. It accommodates for rapid rates of joint movement and allows for up to 50% movement ($\pm 25\%$ movement).

- Monolithic construction for standard sizes – will not delaminate
- Does not rely on the silicone coating or field applied bead to provide a watertight seal
- Silicone skin provides chemical and puncture resistance
- Supplied uncompressed 25% over the mean joint size as a standard
- Utilizes non-invasive anchoring
- Suitable for joints up to 4" wide

AVAILABILITY

Available in joint sizes from ½" to 4" in sticks (6 ft lengths) from your authorized Tremco distributor, or any Tremco or Willseal Sales Representative. Custom sizes are available upon request. For more information contact Customer Service by phone at 800-274-2813 or email custserv@willseal.com.

COLORS

Available in Concrete Grey, Highway Grey, and Traffic-Grade Black. Custom colors are available upon request.

LIMITATIONS

Avoid contact of Willseal Color Coreseal H with harsh chemicals unless a polysulfide finish sealant is used. Not intended for joints requiring $\pm 50\%$ movement (100% total movement). Do not use in joints submerged in water, joints in roofing applications as a primary seal, nor cross joints in copings and projecting stonework. Suitable for joints up to 4" wide, for larger sizes please contact Technical Services.

WARRANTY

A repair or replacement warranty is available on all Willseal products. Visit <https://www.tremcosealants.com/warranties/> for details.

TYPICAL PHYSICAL PROPERTIES

PROPERTY	TEST METHOD	TYPICAL RESULTS
Foam Color		Gray or Black (<i>black by special request only</i>)
Temperature Stability Range		-40 to 130 °F (-40 to 54°C)
Ideal Storage Temperature		68 °F (20 °C)
Tensile Strength	ASTM D3575	74 ± 21 psi
Tear Resistance	ASTM D3575	13.5 ± 20% lbf/in
Density	ASTM D3575	2.3 ± 20%
Elongation at Break	ASTM D3575	275 ± 25%
Water Absorption, 7 Days	DIN 53428	1% volume max
UV Resistance	DIN 18542	Pass
Silicone Elongation	N/A	Never under tension, exceeds maximum movement range (>125%)
Silicone Flexibility	N/A	Excellent
Compression Set	Full cycle tested in an environmental chamber through the stated temperature stability range	Will not delaminate due to thermal shock or compression set

Please refer to our website at www.tremcosealants.com for the most up-to-date Product Data Sheets.

NOTE: All Willseal Safety Data Sheets (SDS) are in alignment with the Globally Harmonized System of Classification and Labelling of Chemicals (GHS) requirements.

WCCSH-DS/0123

Tremco Construction Products Group (CPG) brings together Tremco CPG Inc. and its Dryvit and Nudura brands; Willseal; Prebuck LLC; Tremco Barrier Solutions, Inc.; Weatherproofing Technologies, Inc. and its Pure Air Control Services and Canam Building Envelope Specialists offerings; and Weatherproofing Technologies Canada, Inc.



tremcosealants.com
800.321.7906



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3735 Green Rd. | Beachwood, OH 44122
800.321.7906 | tremcocpg.com