



CU Denver Business
School 5th, and 6th Floor
Drainage Repair

1475 Lawrence St,
Denver, CO 80202

State Project #: 21-115057

CU Denver Business School 5th, and 6th Floor Drainage Repair

1475 Lawrence St, Denver, CO 80202

OWNER REVISIONS #2

OCTOBER 20, 2023

PROJECT LOCATION MAP:



PROJECT DESCRIPTION:

- ROOF DECK IMPROVEMENTS TO EXISTING ROOF DECKS 4A, 4B, 5A, 6A, 6B, 6C TO PREVENT WATER LEAKAGE INTO BUILDING:
- DOORS AND ADJACENT STOREFRONT GLAZING TO BE ELEVATED TO T.O. (E) CURB AT ROOF. NEW CURB TO MATCH EXISTING.
 - CONSTRUCTION OF INTERIOR RAMPS AND LANDINGS.
 - BUILD UP OF (E) ROOF DECK TOPPING TO ALLOW NO GREATER THAN A 2% SLOPE AT ANY LOCATION ON ROOF DECK.
 - APPLICATION OF WALKABLE WATERPROOFING TOPPING SYSTEM TO ENTIRE ROOF DECK, CONTINUE UP CURBS AND INTO DRAIN FOR CONTINUOUS SEAL.
 - (N) METAL COPING OVER BRICK ROWLOCK AND RE-INSTALLATION OF (E) GUARD RAILS.
 - (N) RETROFIT WEEP HOLES IN (E) BRICK EVERY 32".

PROJECT ALTERNATES

- BASE BID: REPAIR AND RESURFACE EXISTING DECK 6C ON LEVEL 6.
- ALTERNATE #1: REPAIR AND RESURFACE EXISTING DECK 5A ON LEVEL 5.
- ALTERNATE #2: INFILL EXISTING RAMP ON DECK 6C, RAISE EXISTING DOOR ON DECK 6C, AND COMPLETE INTERIOR WORK IN DEAN'S CONFERENCE ROOM ON LEVEL 6.
- ALTERNATE #3: INFILL EXISTING RAMP ON DECK 5A, RAISE EXISTING DOOR ON DECK 5A, AND FINISH INTERIOR RAMP ON LEVEL 5.
- ALTERNATE #4: REPAIR AND RESURFACE EXISTING DECK 6B, RAISE EXISTING DOOR ON DECK 6B, FILL IN EXISTING RAMP ON DECK 6B, AND FINISH INTERIOR RAMP ON LEVEL 6.
- ALTERNATE #5: REPAIR AND RESURFACE EXISTING DECK 6A, RAISE EXISTING DOOR ON DECK 6A, FILL IN EXISTING RAMP ON DECK 6A, AND FINISH INTERIOR RAMP ON LEVEL 6.
- ALTERNATE #6: REPAIR AND RESURFACE EXISTING DECK 4A, RAISE EXISTING DOOR ON DECK 4A, FILL IN EXISTING RAMP ON DECK 4A, AND FINISH INTERIOR RAMP ON LEVEL 4.
- ALTERNATE #7: REPAIR AND RESURFACE EXISTING DECK 4B, RAISE EXISTING DOOR ON DECK 4B, FILL IN EXISTING RAMP ON DECK 4B, AND FINISH INTERIOR RAMP ON LEVEL 4.
- ALTERNATE #8: INSTALL NEW SHEET METAL COPING OVER THE TOP OF THE EXISTING BRICK WALL, REMOVE THE EXISTING GUARDRAILS THEN SAND, PREP, & PAINT THE GUARDRAILS. THEN REINSTALL THE GUARDRAILS AT THE EXISTING LOCATIONS.

CONTACTS:

BUILDING OWNER:

CU DENVER BUSINESS SCHOOL
1475 LAWRENCE STREET
DENVER, CO 80202

CONTACT: GREG FILPUS
GREGORY.FILPUS@CUANSCHUTZ.EDU
720.281.7417

ARCHITECT:

ARCHITECTURAL WORKSHOP
2 KALAMATH STREET
DENVER, CO 80223
303.788.1717

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MBOWERS@ARCHSHOP.COM
303.788.1717

DRAWING INDEX:

- G-001 COVER SHEET & PROJECT INFORMATION
- G-002 GENERAL NOTES & ABBREVIATIONS
- G-003 CODE SHEET

- A-101 LEVEL 4 ENLARGED ROOF DECK PLANS
- A-102 LEVEL 4 ENLARGED ROOF DECK PLANS
- A-103 LEVEL 5 ENLARGED ROOF DECK PLANS
- A-104 LEVEL 6 ENLARGED ROOF DECK PLANS
- A-105 LEVEL 6 ENLARGED ROOF DECK PLANS
- A-106 LEVEL 6 ENLARGED ROOF DECK PLANS
- A-501 DETAILS & DOOR SCHEDULE



DATE	DESCRIPTION
02.04.22	DESIGN DEVELOPMENT
05.05.23	100% CONSTRUCTION DOCUMENTS
08.09.23	OWNER REVISIONS
10.20.23	OWNER REVISIONS #2

DRAWN BY: MS CHECKED BY: MB
PROJECT NO.: 2154a0b INITIAL DATE: 02/04/2022

COVER SHEET, PROJECT
INFORMATION

G-001

A.F	ABOVE FINISH FLOOR	GALV.	GALVANIZED	RAD	RADIUS
A.C.T	ACOUSTIC CEILING TILES	GA	GAUGE	R.W.R.	RAIN WATER RECEIVER
A.C.	AIR CONDITIONING	GEN	GENERAL	REC.P	RECEPTACLE
ADJ.	ADJUSTABLE	G.C.	GENERAL CONTRACTOR	REC	RECESS
AL	ALUMINUM	GLAM	GLUE LAMINATED WOOD BEAM	REF	REFERENCE
ALT	ALTERNATE	G.B.	GRAB BAR	REINF	REINFORCE/REINFORCING
L	ANGLE	GR	GRADE	REQD	REQUIRED
ANOD	ANODIZED	GYP. BD	GYPSON BOARD	RESIL	RESILIENT
A.D.	AREA DRAIN			R.D.	ROUGH DRAIN
@	AT	HWD	HARD WOOD	RM	ROOM
		HT	HEIGHT	R.O.	ROUGH OPENING
B.M.	BENCH MARK	H.P.	HIGH POINT/HIGH PRESSURE		
BIT	BITUMINOUS	H.M.	HOLLOW METAL	SAN	SANITARY
BLK	BLOCK			SCH	SCHEDULE
BD	BOARD	IN	INCH	SECT.	SECTION
B.DG	BUILDING	I.D.	INSIDE DIAMETER	SH	SHEET
B.B.	BULLETIN BOARD	I.G.	INSULATING GLASS	SIM	SIMILAR
B.U.R.	BUILT UP ROOF	INSUL	INSULATION	S.D.	SMOKE DETECTOR
		INT.	INTERIOR	S.C.	SOLID CORE
C.I.P.	CAST-IN-PLACE-CONCRETE	INV.	INVERT	SPR	SPRINKLER
CPT	CARPET			SF	SQUARE FOOT
CLK	CAULKING	JAN	JANITOR	S.S.	STAINLESS STEEL
C.B.	CHALK BOARD	JT	JOINT	STD	STANDARD
CLG	CEILING			STL	STEEL
CTR	CENTER	KIT	KITCHEN	STO	STORAGE
C.T.	CERAMIC TILE			STR	STRUCTURAL
CLR	CLEAR	LAB	LABORATORY	SUSP	SUSPENDED
COL	COLUMN	LAM	LAMINATE	SYM	SYMMETRIC
CONC	CONCRETE	LAV	LAVATORY	SYS.	SYSTEM
C.M.U.	CONCRETE MASONRY UNIT	LGTH	LENGTH		
CONST	CONSTRUCTION	LF	LINEAL FOOT	T.B.	TACK BOARD
CJ	CONTROL JOINT	L.S.D.	LIQUID SOAP DISPENSER	TEL	TELEPHONE
CONT	CONTINUOUS/CONTINUE			THK	THICK
CONTR	CONTRACTOR	MH	MANHOLE	THRES	THRESHOLD
CORR.	CORRIDOR	MFR	MANUFACTURER	TOIL	TOILET
C.U.H.	CABINET UNIT HEATER	M.O.	MASONRY OPENING	T.D.T.	TOILET TISSUE DISPENSER
		MATL	MATERIAL	T&G	TONGUE & GROOVE
DET/DTL	DETAIL	MAX	MAXIMUM	T.O.C.	TOP OF CONCRETE
DIA	DIAMETER	MECH	MECHANICAL	T.O.D.	TOP OF DECK
DIM	DIMENSIONS	MTL/MET	METAL	T.O.M.	TOP OF MASONRY
DR	DOOR	MICR	MICROWAVE	T.O.S.	TOP OF STEEL
DN	DOWN	MIN	MINIMUM	TYP	TYPICAL
D.S.	DOWN SPOUT	MISC	MISCELLANEOUS	T.D.R.	TOWEL DISPENSER & RECEPTACLE
DWG	DRAWING	MOD	MODULE		
D.F.	DRINKING FOUNTAIN			UC	UNDER COUNTER
		NONCOM	NON-COMBUSTIBLE	UG	UNDERGROUND
ELEC	ELECTRICAL	N.I.C.	NOT IN CONTRACT	UNFIN	UNFINISHED
E.W.C.	ELECTRIC WATER COOLER	N.T.S.	NOT TO SCALE		
ELEV	ELEVATION	NO.	NUMBER	V.B	VAPOR BARRIER
EQ	EQUAL			VENT	VENTILATING
EQUIP	EQUIPMENT	OFF	OFFICE	VER.IF	VERIFY IN FIELD
EIFS	EXT. INSUL. & FINISH SYSTEM	O.C.	ON CENTER	VERT	VERTICAL
EXH.	EXHAUST	OPG	OPENING	V.C.T.	VINYL COMPOSITION TILE
EXIST	EXISTING	OPH	OPPOSITE HAND		
E.J.	EXPANSION JOINT	P.D.	OUTSIDE DIAMETER	W.C.	WATER CLOSET
EXT	EXTERIOR			WP	WATERPROOFING
EPDM	ETHYLENE PROPYLENE DIENE MONOMER	PNT	PAINTED/PAINT	W.S.	WEATHER STRIP
		PTN	PARTITION	WT	WEIGHT
F.B.	FACE BRICK	PL	PLASTER	WWF	WELDED WIRE FABRIC
FT	FOOT	PLT	PLATE	W	WITH
FIN	FINISH	P&H	PLUMBING AND HEATING	W/O	WITHOUT
F.F.	FINISH FLOOR	PLWD	PLYWOOD	WD	WOOD
F.A.P.	FIRE ALARM PANEL	P.I.P.	POURED IN PLACE CONCRETE		
F.E.	FIRE EXTINGUISHER	PC	PRECAST		
F.E.C.	FIRE EXTINGUISHER CABINET	PFB	PREFABRICATED		
FL	FLOOR/FLR LINE	PREFIN	PREFINISHED		
F.D.	FLOOR DRAIN	P.W.B.	PREFINISHED WALL BOARD		
FTG	FOOTING	PRELIN	PRELIMINARY		
FDN	FOUNDATION	P.L.	PROPERTY LINE		

	COLUMN GRID
	DETAIL/WALL SECTION DETAIL 1 ON SHEET A101
	EXTERIOR ELEVATION DRAWING 1 ON SHEET A101
	BUILDING SECTION DRAWING 1 ON SHEET A101
	DETAIL BUBBLE DETAIL 1 ON SHEET A101
	INTERIOR ELEVATION DRAWING 1 ON SHEET A7.1
	DRAWING TITLE AND NUMBER
	NORTH ARROW
	ROOM NAME AND NUMBER
	ELEVATION MARKER
	DOOR NUMBER
	WINDOW TYPE
	CENTER LINE
	OBJECTS ABOVE SOFFITS, CABINETS, HIGH WINDOWS
	HIDDEN OBJECTS

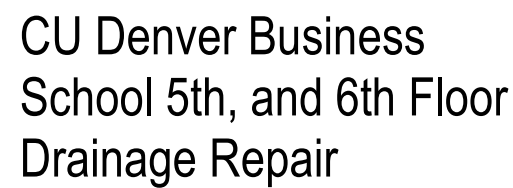
1. PERMITS:
THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS AND APPROVALS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSPECTIONS, SIGNATURES, AND SIGN-OFFS AS REQUIRED FOR THE WORK.

THE GENERAL PERMIT/BUILDING CARD WILL BE ISSUED BY CU DENVER.
MEP PERMITS AND INSPECTIONS ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND ARE ISSUED THROUGH THE STATE OF COLORADO. THE GC IS RESPONSIBLE FOR THE PERMIT AND ALL FEES. ALL MEP INSPECTIONS ARE BY THE STATE.

FIRE PERMIT AND INSPECTIONS ARE THROUGH DENVER FIRE. THE GC IS RESPONSIBLE FOR SUBMITTING ALL REQUIRED DRAWINGS FOR PERMIT AND PAYING FOR THE PERMIT FEES. ALL FIRE INSPECTIONS ARE DONE BY DENVER FIRE.
2. SITE EXAMINATION:
GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VISIT AND EXAMINE THE SITE AND BUILDING IN EVERY DETAIL AS IT PERTAINS TO THE PROJECT PRIOR TO SUBMITTING A BID PROPOSAL.
3. DISCREPANCIES:
ANY DISCREPANCIES DISCOVERED BY THE GENERAL CONTRACTOR OR BY THE SUBCONTRACTORS, BETWEEN DIMENSIONS, OR CONFLICTS UNFORESEEN PREVIOUSLY SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.
4. BUILDING CODE COMPLIANCE:
PERFORM ALL WORK TO COMPLY WITH APPLICABLE BUILDING CODES AND REGULATIONS. FOR BUILDING CONDITIONS THAT ARE NOT CONSTRUCTED TO MEET CURRENT BUILDING CODES, THE GENERAL CONTRACTOR IS TO PROVIDE ALTERNATE PRICING TO BRING ITEMS INTO CODE COMPLIANCE.
5. LONG LEAD ITEMS:
THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR BEING FAMILIAR WITH THE PROJECT SCHEDULE AND DEADLINES, AND FOR ADVISING THE ARCHITECT FOR ALL LONG LEAD ITEMS. ORDER CONFIRMATION SHALL BE SUBMITTED WITH DELIVERY DATES. PROVIDE LEAD TIME ESTIMATES WITH ANY BID PROPOSALS. IT SHALL BE AT THE GENERAL CONTRACTORS EXPENSE IF ANY LONG LEAD ITEMS ARE DISCOVERED AFTER THE PROJECT BEGINS.
6. CLEAN UP:
CLEANING OF EQUIPMENT SHALL BE LIMITED TO AREAS DESIGNATED BY THE BUILDING OWNER. TRASH SHALL BE REMOVED AND SWEEPING/VACUUMING SHALL BE PROVIDED ON A DAILY AND THROUGH BASIS THROUGHOUT THE CONSTRUCTION PROCESS. FINAL CLEANING SHALL BE PROVIDED BY THE CONTRACTOR AND INCLUDE WINDOWS, SILLS, WINDOW COVERINGS (BLINDS), CABINETS, LIGHT FIXTURES, SUPPLY AIR DIFFUSERS AND RETURN AIR GRILLS.
7. PROTECTION OF EXISTING ITEMS:
THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT ALL EXISTING CONSTRUCTION ON AND OFF SITE, AND SHALL BE HELD RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE CAUSED BY GENERAL CONTRACTOR OR ANY OF ITS SUBCONTRACTORS.
8. WORK PERFORMED UNDER SEPARATE CONTRACT:
THE GENERAL CONTRACTOR IS TO VERIFY WITH THE BUILDING OWNER, IF ANY WORK IS TO BE PERFORMED UNDER A SEPARATE CONTRACT.
9. FIRE WALL PENETRATIONS:
ALL PENETRATIONS THROUGH FIRE RESISTIVE CONSTRUCTION SHALL BE CAULKED OR OTHERWISE SEALED WITH AN APPROVED FIRE SEALANT TO MAINTAIN THE REQUIRED FIRE RATING.
10. GENERAL CONTRACTOR (G.C.) IS RESPONSIBLE TO COORDINATE WITH THE UNIVERSITY PROJECT MANAGER FOR HOURS OF OPERATION, ALLOWABLE CONSTRUCTION TIMES AND CONSTRUCTION ACTIVITIES. THE G.C. SHALL ASSUME ALL RESPONSIBILITY FOR ALL SUB-CONTRACTORS. THE G.C. SHALL BE RESPONSIBLE TO OBTAIN SECURITY KEY CARDS FOR ACCESS TO THE BUILDING AND TO THE FLOORS.
11. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE DUMPSTER, THE G.C. SHALL COORDINATE WITH THE UNIVERSITY PROJECT MANAGER FOR LOCATION AND ALLOWABLE SIZE. THE G.C. IS RESPONSIBLE TO OBTAIN ALL REQUIRED PERMITS FOR DUMPSTER PER CITY REGULATIONS. CONTRACTOR SHALL DISPOSE OF ALL DEBRIS LAWFULLY.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FOR REQUIRED HORN / STROBE AND PULL STAIRS AS PERTAINS TO PATIOS. COST SHALL BE INCLUDED IN COST OF RENOVATION.

1. FLOOR SURFACES SHALL BE SLIP-RESISTANT.
2. ABRUPT CHANGES IN LEVEL ALONG ANY ACCESSIBLE ROUTE SHALL NOT EXCEED 1/2" IN HEIGHT. LEVEL CHANGES NOT EXCEEDING 1/4" MAY BE VERTICAL. BEVEL OTHERS WITH A SLOPE NO GREATER THAN 1:20.

1. CONTRACTOR AND SUB-CONTRACTORS ARE RESPONSIBLE TO READ AND UNDERSTAND ALL OF THE DRAWINGS AND THE PROJECT SPECIFICATION BOOK.
2. GENERAL CONTRACTOR (G.C.) IS RESPONSIBLE TO COORDINATE WITH THE BUILDING MANAGER FOR HOURS OF OPERATION, ALLOWABLE CONSTRUCTION TIMES AND CONSTRUCTION ACTIVITIES. THE G.C. SHALL ASSUME ALL RESPONSIBILITY FOR ALL SUB-CONTRACTORS.
3. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE DUMPSTER. THE G.C. SHALL COORDINATE WITH THE CITY OF DENVER FOR LOCATION AND ALLOWABLE SIZE.
4. ARCHITECT HAS LISTED FLOOR AND DRAIN ELEVATIONS BASED ON ORIGINAL CONSTRUCTION DOCUMENTS BUT HAS NOT FIELD VERIFIED DU TO (E) DECKS. CONTRACTOR TO VERIFY DRAIN AND ROOF SLOPE CONDITIONS AFTER DEMOLITION IS COMPLETE. CONTRACTOR TO NOTIFY ARCHITECT OF ANY VARIATION AND ACCOUNT FOR RAMP SLOPE ADJUSTMENTS IN BIDS AS UNIT COST PER LINEAR FOOT.



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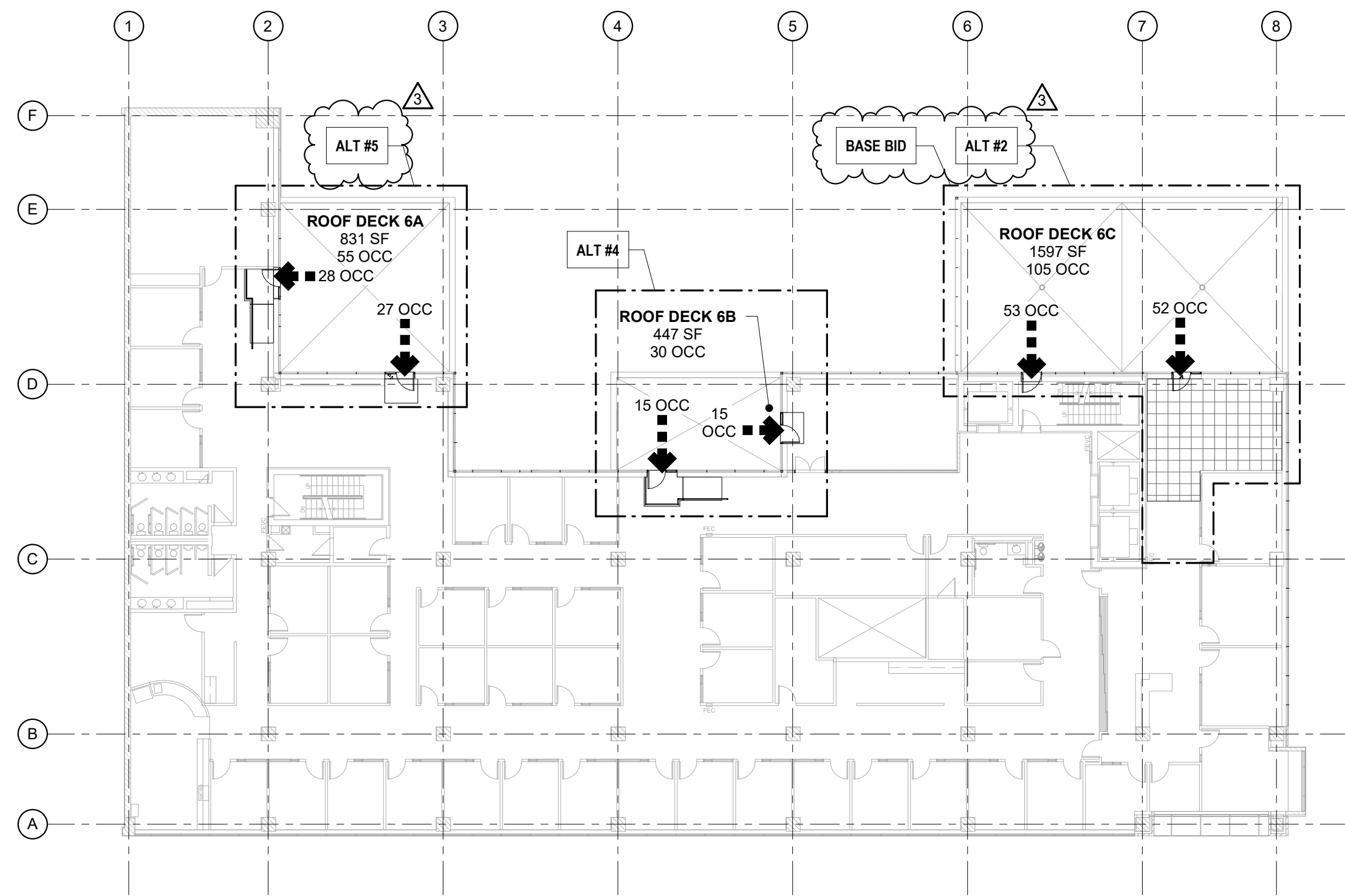


DATE	DESCRIPTION
02.04.22	DESIGN DEVELOPMENT
05.05.23	100% CONSTRUCTION DOCUMENTS
08.09.23	OWNER REVISIONS

DRAWN BY: MS CHECKED BY: MB
PROJECT NO.: 2154cub INITIAL DATE: 02/04/2022

GENERAL NOTES & ABBREVIATIONS

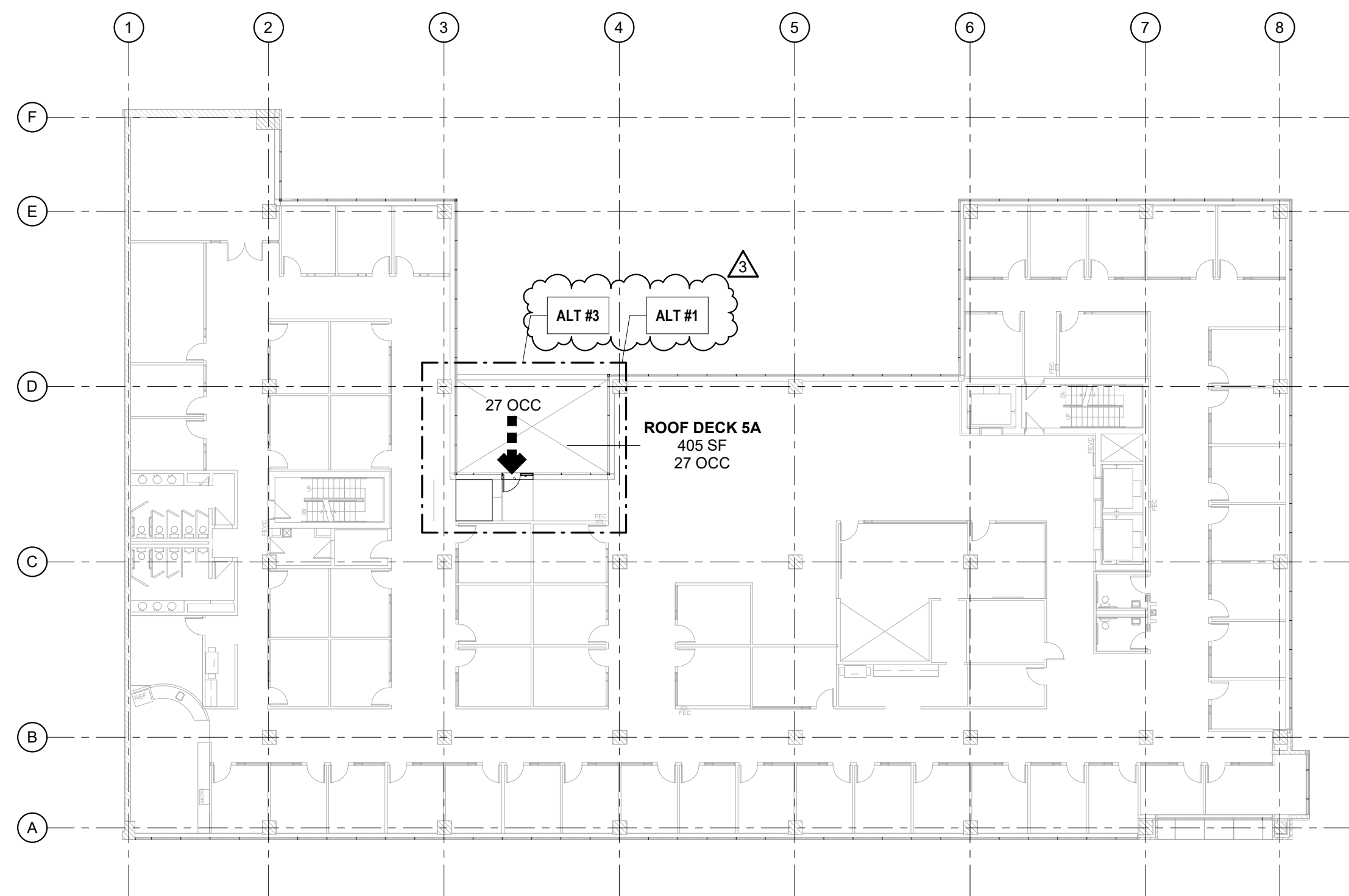
G-002



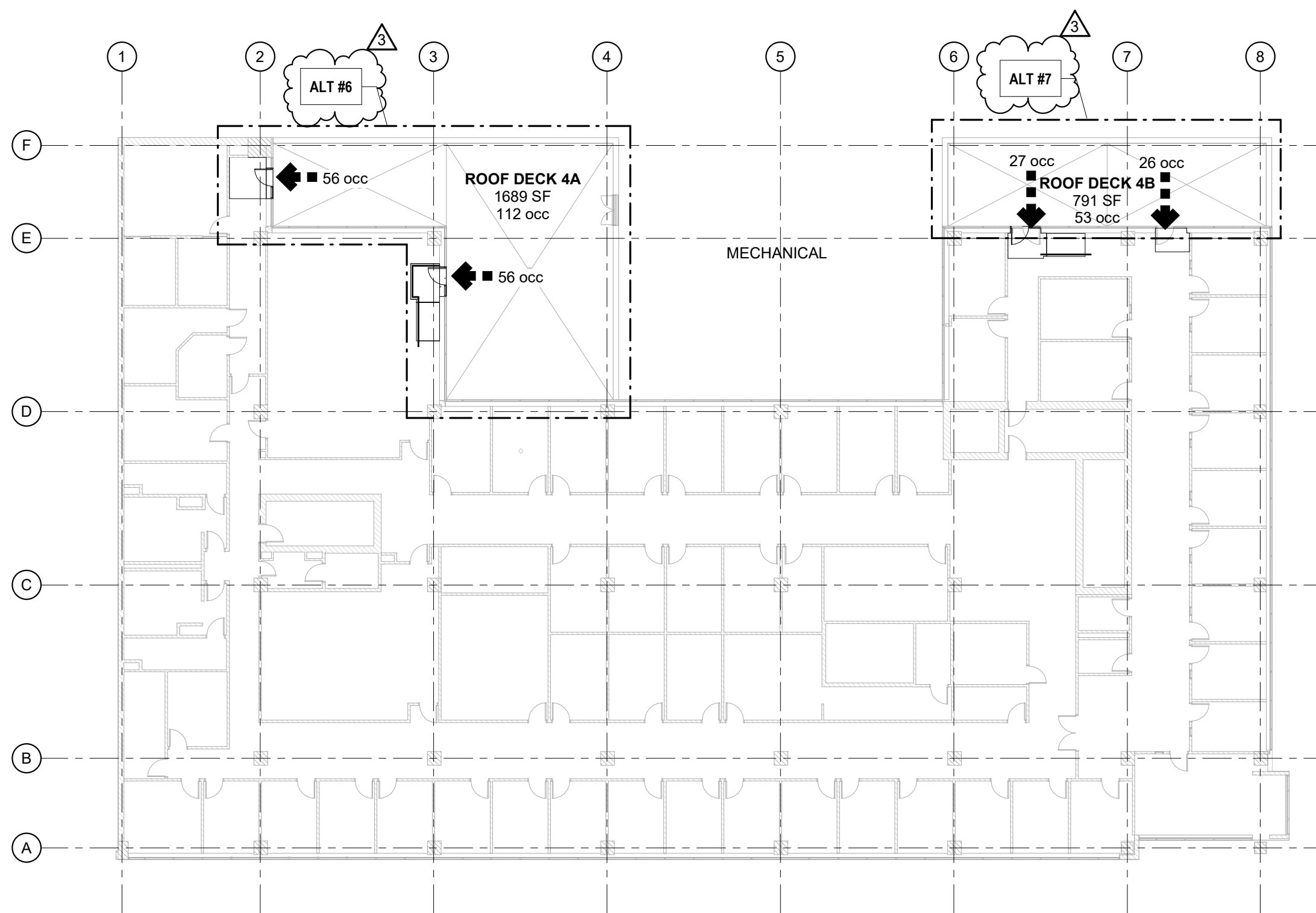
3 OVERALL LEVEL 6 CODE PLAN
1" = 20'-0"

CODE DATA:

BUILDING ADDRESS:	1475 LAWRENCE ST DENVER, CO 80202
APPLICABLE BUILDING CODES:	2021 INTERNATIONAL BUILDING CODE 2021 INTERNATIONAL FUEL GAS CODE 2021 INTERNATIONAL MECHANICAL CODE 2021 INTERNATIONAL PLUMBING CODE 2021 INTERNATIONAL ENERGY CONSERVATION CODE 2023 NATIONAL ELECTRICAL CODE ICC A117.1-2017 & COLORADO STATE HOUSE BILL 03-1221 CU DENVER BUILDING DEPARTMENT
JURISDICTION:	TYPE I-A
BUILDING CONSTRUCTION:	OFFICE GROUP B CLASSROOM GROUP A-3 ASSEMBLY GROUP A-3
OCCUPANCY GROUP:	YES
SPRINKLER SYSTEM:	194'-0" - SIX STORIES (NO CHANGE)
BUILDING HEIGHT:	
CONSTRUCTION AREA:	EXTERIOR ROOF DECK 4A 1,335 S.F. EXTERIOR ROOF DECK 4B 791 S.F. EXTERIOR ROOF DECK 5A 405 S.F. EXTERIOR ROOF DECK 6A 831 S.F. EXTERIOR ROOF DECK 6B 447 S.F. EXTERIOR ROOF DECK 6C 1,579 S.F. TOTAL: 5,388 S.F.
CHAPTER 10: 1007.1.1 EXCEPTION 2 WHERE A BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2, THE SEPERATION DISTANCE OF THE EXIT DOORS OR EXIT ACCESS DOORWAYS SHALL NOT BE LESS THAN ONE- THIRD OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE AREA SERVED.	EXTERIOR ROOF DECK 4A DIAGONAL DISTANCE= 53' 1/3 DISTANCE = 17'-6" ACTUAL DISTANCE = 33' EXTERIOR ROOF DECK 4B DIAGONAL DISTANCE= 57' 1/3 DISTANCE = 19' ACTUAL DISTANCE = 23' EXTERIOR ROOF DECK 5A N/A EXTERIOR ROOF DECK 6A DIAGONAL DISTANCE= 41' 1/3 DISTANCE = 13'-8" ACTUAL DISTANCE = 22' EXTERIOR ROOF DECK 6B DIAGONAL DISTANCE= 32.5' 1/3 DISTANCE = 10'-9 1/2" ACTUAL DISTANCE = 22' EXTERIOR ROOF DECK 6C DIAGONAL DISTANCE= 62' 1/3 DISTANCE = 20'-8" ACTUAL DISTANCE = 22'-6"



2 OVERALL LEVEL 5 CODE PLAN
1" = 20'-0"



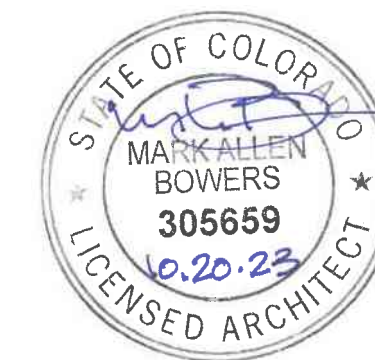
1 OVERALL LEVEL 4 CODE PLAN
1" = 20'-0"



CU Denver Business
School 5th, and 6th Floor
Drainage Repair

1475 Lawrence St,
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CODE SHEET

G-003

CU Denver Business
School 5th, and 6th Floor
Drainage Repair

1475 Lawrence St,
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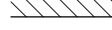
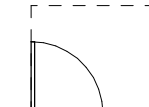
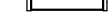
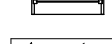
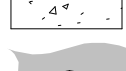
GENERAL NOTES

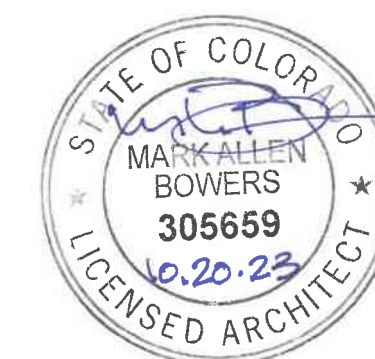
1. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. ANY DISCREPANCIES IN DRAWINGS AND/OR EXISTING CONDITIONS SHOULD BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.
2. THE ARCHITECT DISCLAIMS ANY RESPONSIBILITIES AND/OR KNOWLEDGE OF ASBESTOS. THE OWNER ACCEPTS ALL RESPONSIBILITY FOR REMOVAL AND DISPOSAL OF ASBESTOS IF DISCOVERED.
3. ARCHITECT HAS LISTED FLOOR AND DRAIN ELAVATIONS BASED ON ORIGINAL CONSTRUCTION DOCUMENTS BUT HAS NOT FIELD VERIFIED DUO TO (E) DECKS. CONTRACTOR TO VERIFY DRAIN AND ROOF SLOPE CONDITIONS AFTER DEMOLITION IS COMPLETE. CONTRACTOR TO NOTIFY ARCHITECT OF ANY VARIATION AND ACCOUNT FOR RAMP SLOPE ADJUSTMENTS IN BIDS AS UNIT COST PER LINEAR FOOT.
4. NEW CONSTRUCTION MUST ALIGN WITH EXISTING WALLS AND/OR ELEMENTS. WALL AND CEILING TEXTURES MUST MATCH AND BE BLENDED TO MEET OWNERS AND ARCHITECTS APPROVAL.
5. ALL DIMENSIONS ARE FROM FACE OF STUD FOR NEW WALLS AND FACE OF FINISHED WALLS FOR EXISTING WALLS OR CENTERLINE OF GRID UNLESS NOTED OTHERWISE.
6. ALL ROUGH AND FINISH CONSTRUCTION SHALL BE IN COMPLIANCE WITH GOVERNING CODES AND REGULATIONS AS A MINIMUM STANDARD.
7. PROVIDE SAMPLES TO ARCHITECT FOR APPROVAL PRIOR TO ORDERING ANY MATERIALS.
8. ALL INSTALLED MATERIALS AND FINISHES TO MEET ALL APPLICABLE BUILDING CODE REQUIREMENTS, INCLUDING ADA REQUIREMENTS.

PLAN KEY NOTES

- 1 BUILD-UP PREVIOUSLY CUT PORTION OF ROOF DECK TOPPING SLAB TO BUILT-UP HEIGHT CONCRETE TO MATCH (E) ROOF CONDITIONS. SLOPE TO (E) ROOF DRAIN(S). MATCH (E) 4" HEIGHT AT CURB, SLOPE TO (E) DRAIN.
- 2 REBUILD CONCRETE CURB APPROX. 4'-6" IN HEIGHT TO MATCH (E) HEIGHT AT CURB. (E) DOOR AND STOREFRONT SYSTEM REINSTALLED ON (N) CONCRETE CURB. MAINTAIN ADA COMPLIANT THRESHOLD BETWEEN (E) ROOF DECK AND (N) INTERIOR LANDINGS.
- 3 PROVIDE (N) LANDINGS AT INTERIOR SIDE OF DOORS. FINISH WITH CARPET TO MATCH EXISTING.
- 4 (N) SLOPED RAMP FROM (E) STRUCTURAL SLAB TO (N) DOOR LANDING. FINISH WITH CARPET TO MATCH EXISTING.
- 5 APPLY DEX-FLEX ELASTOMERIC WATERPROOFING / POLYACRYLATE PEDESTAL TRAFFIC TOPPING SYSTEM, OR EQUAL, OVER (E) CONCRETE DECK. CONTINUE PRODUCT SEAMLESSLY UP (E) CONCRETE CURB AND STOP AT BRICK FLASHING. PATCH AND REPAIR FLASHING AS NEEDED.
- 6 BUILD-UP AREA AROUND (E) ROOF DRAIN WITH DEX-O-TEX A-81 RESURFACING UNDERLAYMENT, OR EQUAL, TO PROVIDE NO GREATER THAN 2% SLOPE TOWARDS (E) ROOF DRAIN. FEATHER PRODUCT TOWARDS (E) CURB TO MATCH (E) 4" HEIGHT AT CURB, SLOPE TO (E) DRAIN.
- 7 (E) ROOF DRAIN TO REMAIN. PREP, CLEAN AND PLUG (E) DRAIN FOR SESS AIR APPLICATION OF DEX-FLEX ELASTOMERIC WATERPROOFING / POLYACRYLATE PEDESTAL TRAFFIC TOPPING SYSTEM, OR EQUAL, TO BE CONTINUOUSLY COATED FROM SLOPED ROOF DECK INTO DRAIN. REMOVE PLUG WHEN COMPLETE AND TOP WITH FLUSH, ADA COMPLIANT DRAIN COVER.
- 8 (N) SHEET METAL COPING OVER TOP OF (E) BRICK WALL ROWLOCK. SAND, PREP. & PAINT GUARDRAILS TO MATCH (E) COLOR THEN REINSTALL. (E) GUARD RAIL AT TOP OF BRICK WALL LOCATIONS. (ADD ALT #)
- 9 NOT USED
- 10 PROVIDE RETROFIT WEEP HOLES TO ENSURE WEEP HOLES EVERY 32" ABOVE STOREFRONT.
- 11 BUILD-UP OF ROOF DECK W/ UNDERLAYMENT TO MAINTAIN 2% SLOPE OR LESS.
- 12 NEW WALL MOUNTED ELECTRICAL EMERGENCY EXIT SIGNAGE WITH BATTERY BACKUP. (LITHONIA WET LOC. EXTERIOR, GREEN) AT 8'-6" A.F.F. TIE INTO (E) CORRIDOR LIGHTING CIRCUIT.
- 13 NOT USED
- 14 NOT USED
- 15 NOT USED
- 16 SCARIFY THE CONCRETE SURFACE. PATCH AREAS WITH SPALLING & PREP PER MANUFACTURER INSTRUCTIONS TO RECEIVE WALKABLE DEX-FLEX ELASTOMERIC WATERPROOFING / POLYACRYLATE PEDESTAL TRAFFIC TOPPING SYSTEM.
- 17 NOT USED

LEGEND:

- | | |
|---|---|
|  | NO WORK |
|  | EXISTING CONSTRUCTION TO REMAIN |
|  | NEW CONSTRUCTION |
|  | NEW DOOR W/ ADA COMPLIANT
DOOR CLEARANCE |
|  | NEW ASF WINDOW |
|  | LIGHTWEIGHT CONCRETE TOPPING BUILD-UP |
|  | UNDERLAYMENT BUILD-UP AROUND (E) DRAIN TO
PROVIDE NO GREATER THAN 2% SLOPE ON (E) DECK |
|  | BUILD-UP OF ROOF DECK W/ UNDERLAYMENT |
|  | WALL MOUNTED ELECTRICAL EXIT SIGNAGE |



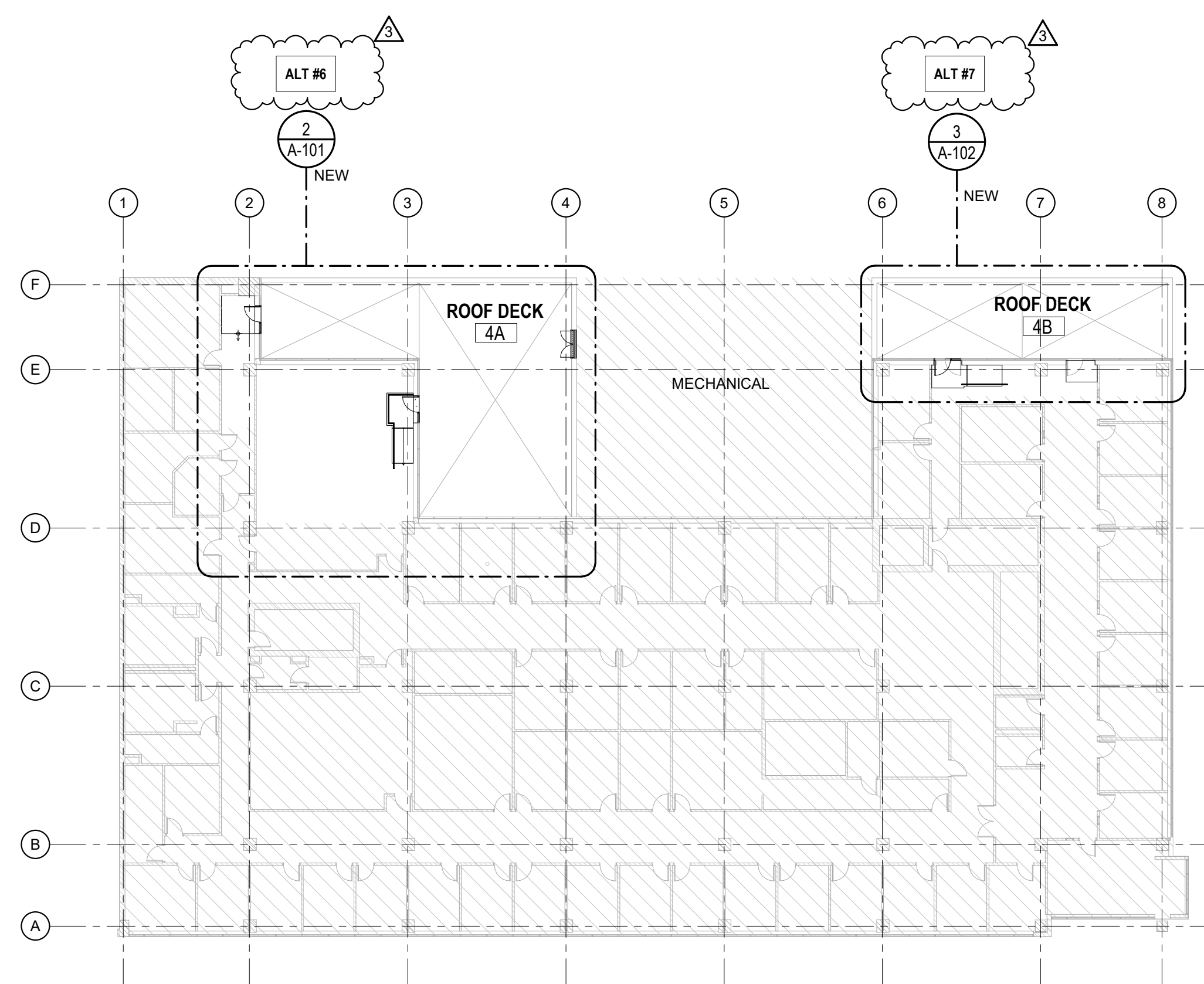
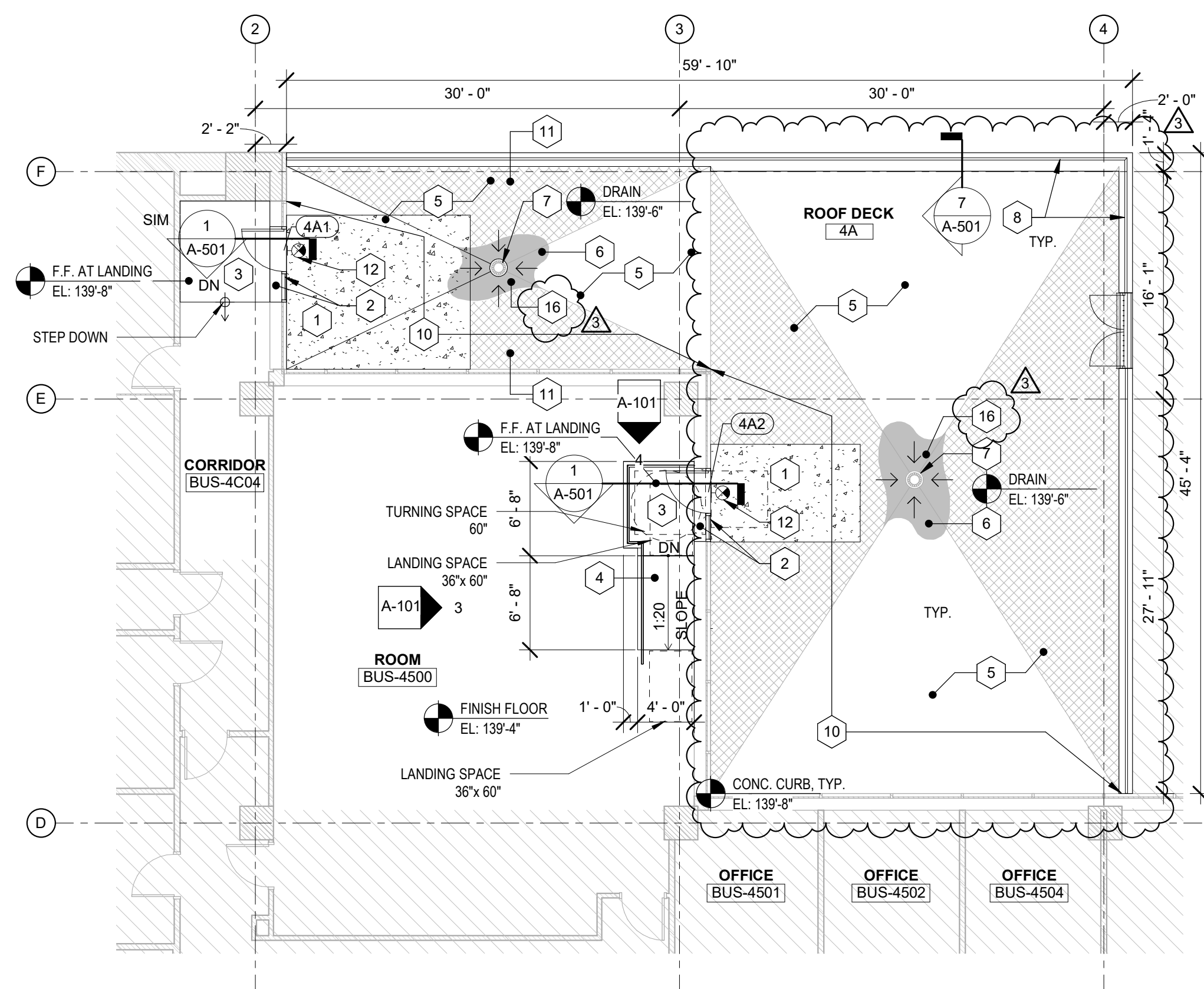
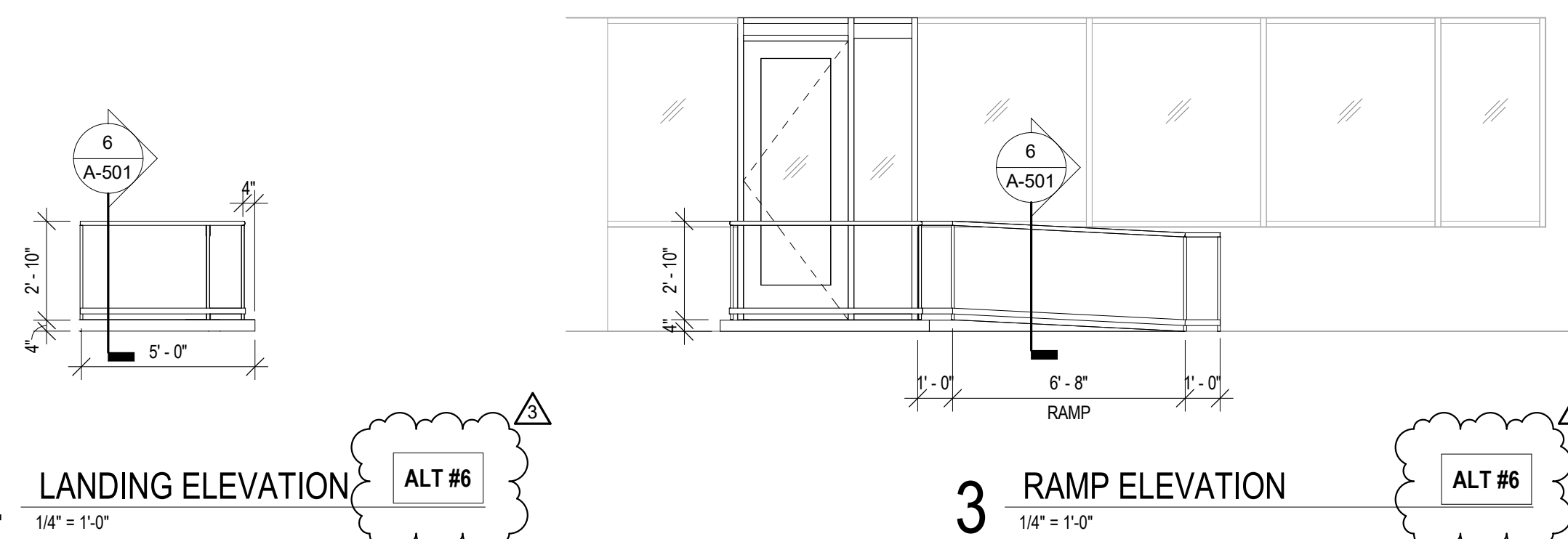
DATE	DESCRIPTION
02.04.22	DESIGN DEVELOPMENT
05.05.23	100% CONSTRUCTION DOCUMENTS
07.10.23	RESPONSE TO CODE REVIEW
08.09.23	OWNER REVISIONS
10.20.23	OWNER REVISIONS #2

DRAWN BY: MS CHECKED BY: MB
PROJECT NO.: 2154cub INITIAL DATE: 02/04/2022

LEVEL 4 ENLARGED ROOF DECK
PLANS

A-101

ALT #6





CU Denver Business
School 5th, and 6th Floor
Drainage Repair

1475 Lawrence St,
Denver, CO 80202

State Project #: 21-115057

GENERAL NOTES

- DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. ANY DISCREPANCIES IN DRAWINGS AND/OR EXISTING CONDITIONS SHOULD BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.
- THE ARCHITECT DISCLAIMS ANY RESPONSIBILITIES AND/OR KNOWLEDGE OF ASBESTOS. THE OWNER ACCEPTS ALL RESPONSIBILITY FOR REMOVAL AND DISPOSAL OF ASBESTOS IF DISCOVERED.
- ARCHITECT HAS LISTED FLOOR AND DRAIN ELEVATIONS BASED ON ORIGINAL CONSTRUCTION DOCUMENTS BUT HAS NOT FIELD VERIFIED DUE TO (E) DECKS. CONTRACTOR TO VERIFY DRAIN AND ROOF SLOPE CONDITIONS AFTER DEMOLITION IS COMPLETE. CONTRACTOR TO NOTIFY ARCHITECT OF ANY VARIATION AND ACCOUNT FOR RAMP SLOPE ADJUSTMENTS IN BIDS AS UNIT COST PER LINEAR FOOT.
- NEW CONSTRUCTION MUST ALIGN WITH EXISTING WALLS AND/OR ELEMENTS. WALL AND CEILING TEXTURES MUST MATCH AND BE BLENDED TO MEET OWNERS AND ARCHITECTS APPROVAL.
- ALL DIMENSIONS ARE FROM FACE OF STUD FOR NEW WALLS AND FACE OF FINISHED WALLS FOR EXISTING WALLS OR CENTERLINE OF GRID UNLESS NOTED OTHERWISE.
- ALL ROUGH AND FINISH CONSTRUCTION SHALL BE IN COMPLIANCE WITH GOVERNING CODES AND REGULATIONS AS A MINIMUM STANDARD.
- PROVIDE SAMPLES TO ARCHITECT FOR APPROVAL PRIOR TO ORDERING ANY MATERIALS.
- ALL INSTALLED MATERIALS AND FINISHES TO MEET ALL APPLICABLE BUILDING CODE REQUIREMENTS, INCLUDING ADA REQUIREMENTS.

PLAN KEY NOTES

- BUILD-UP PREVIOUSLY CUT PORTION OF ROOF DECK TOPPING SLAB WITH LIGHTWEIGHT CONCRETE TO MATCH (E) ROOF CONDITIONS. SLOPE TO (E) ROOF DRAIN(S). MATCH (E) 4" HEIGHT AT CURB. SLOPE TO (E) DRAIN.
- REBUILD CONCRETE CURB APPROX. 4'-6" IN HEIGHT TO MATCH (E) HEIGHT AT CURB. (E) DOOR AND STOREFRONT SYSTEM REINSTALLED ON (N) CONCRETE CURB. MAINTAIN ADA COMPLIANT THRESHOLD BETWEEN (E) ROOF DECK AND (N) INTERIOR LANDINGS.
- NOT USED
- NOT USED
- APPLY DEX-FLEX ELASTOMETRIC WATERPROOFING / POLYACRYLATE PEDESTRIAN TRAFFIC TOPPING SYSTEM, OR EQUAL, OVER (E) CONCRETE DECK. CONTINUE PRODUCT SEAMLESSLY UP (E) CONCRETE CURB AND STOP AT BRICK FLASHING. PATCH AND REPAIR FLASHING AS NEEDED.
- NOT USED
- (E) ROOF DRAIN TO REMAIN. PREP, CLEAN AND PLUG (E) DRAIN FOR SEAMLESS APPLICATION OF DEX-FLEX ELASTOMETRIC WATERPROOFING / POLYACRYLATE PEDESTRIAN TRAFFIC TOPPING SYSTEM, OR EQUAL, TO BE CONTINUOUSLY COATED FROM SLOPED ROOF DECK INTO DRAIN 4". REMOVE PLUG WHEN COMPLETE AND TOP WITH FLUSH, ADA COMPLIANT DRAIN COVER.
- (N) SHEET METAL COPING OVER TOP OF (E) BRICK WALL ROWLOCK. SAND, PREP, & PAINT GUARDRAILS TO MATCH (E) COLOR THEN REINSTALL (E) GUARD RAIL AT TOP OF BRICK WALL LOCATIONS. (ADD ALT #8).
- NOT USED
- PROVIDE RETROFIT WEEP HOLES TO ENSURE WEEP HOLES EVERY 32" ABOVE STOREFRONT.
- NOT USED
- NEW WALL MOUNTED ELECTRICAL EMERGENCY EXIT SIGNAGE WITH BATTERY BACKUP. (LITHONIA WET LOC. EXTERIOR, GREEN) AT 8'-6" A.F.F. TIE INTO (E) CORRIDOR LIGHTING CIRCUIT.
- NOT USED
- EXISTING DAVIT PLATE TO REMAIN, CAULK EDGES TO NEW WALKABLE SURFACE.
- NOT USED
- SCARIFY THE CONCRETE SURFACE. PATCH AREAS WITH SPALLING & PREP PER MANUFACTURER INSTRUCTIONS TO RECEIVE WALKABLE DEX-FLEX ELASTOMETRIC WATERPROOFING / POLYACRYLATE PEDESTRIAN TRAFFIC TOPPING SYSTEM.
- NOT USED



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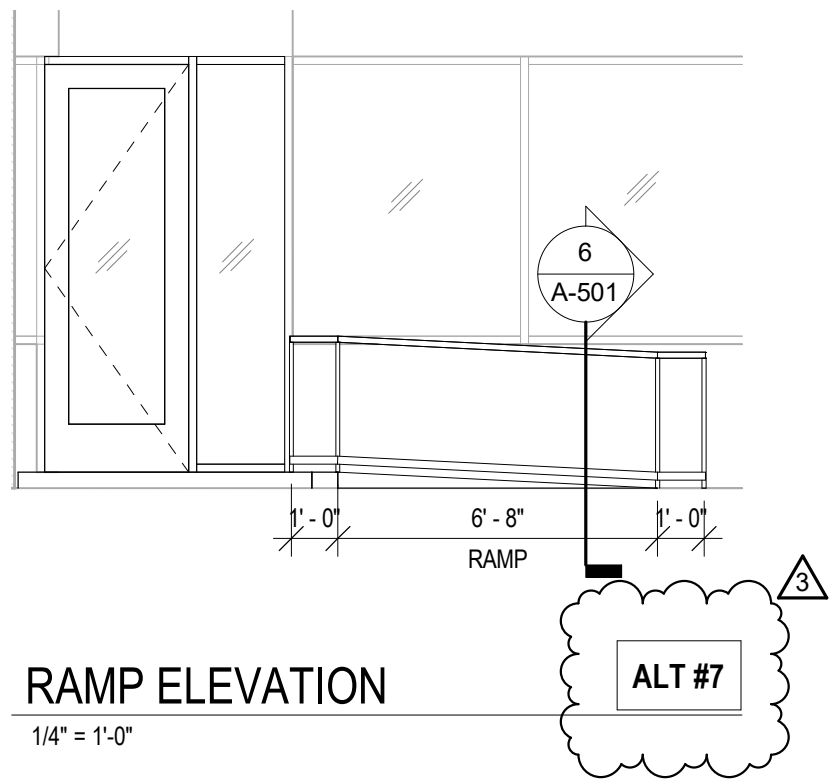
- | | |
|--|--|
| | NO WORK |
| | EXISTING CONSTRUCTION TO REMAIN |
| | NEW CONSTRUCTION |
| | NEW DOOR W/ ADA COMPLIANT DOOR CLEARANCE |
| | NEW ASF WINDOW |
| | LIGHTWEIGHT CONCRETE TOPPING BUILD-UP |
| | UNDERLAYMENT BUILD-UP AROUND (E) DRAIN TO PROVIDE NO GREATER THAN 2% SLOPE ON (E) DECK |
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DRAWN BY: MS CHECKED BY: MB
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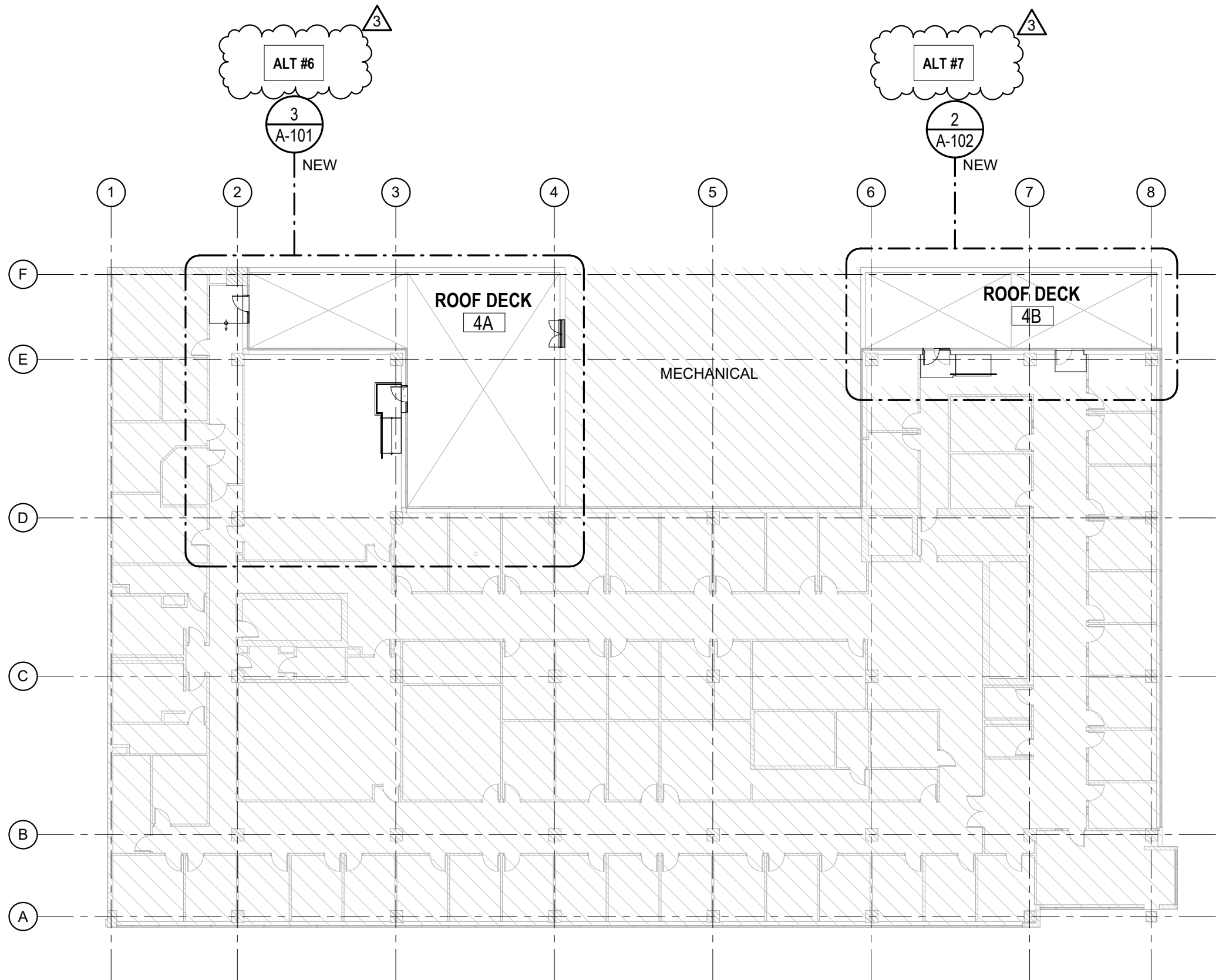
LEVEL 4 ENLARGED ROOF DECK
PLANS

A-102

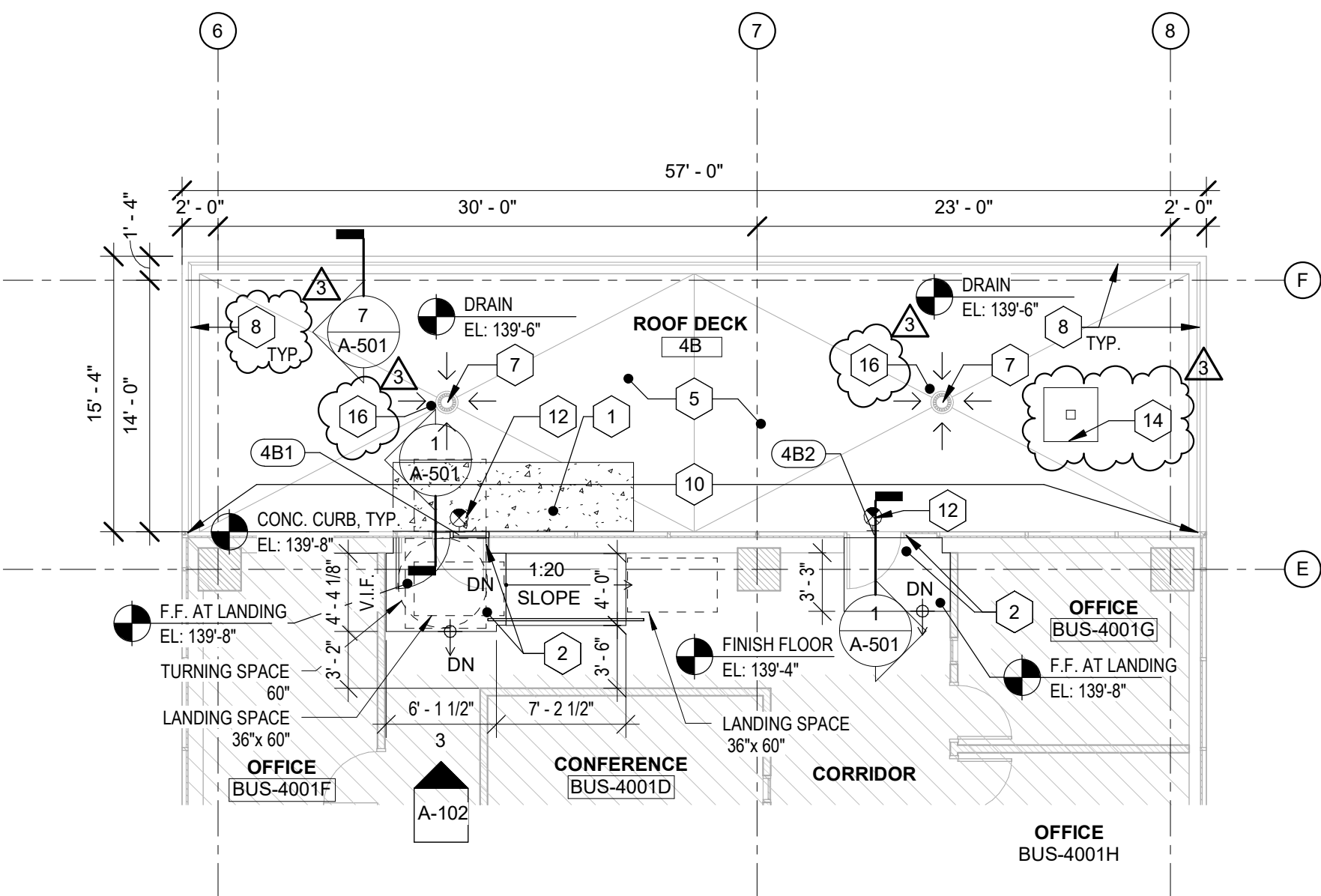
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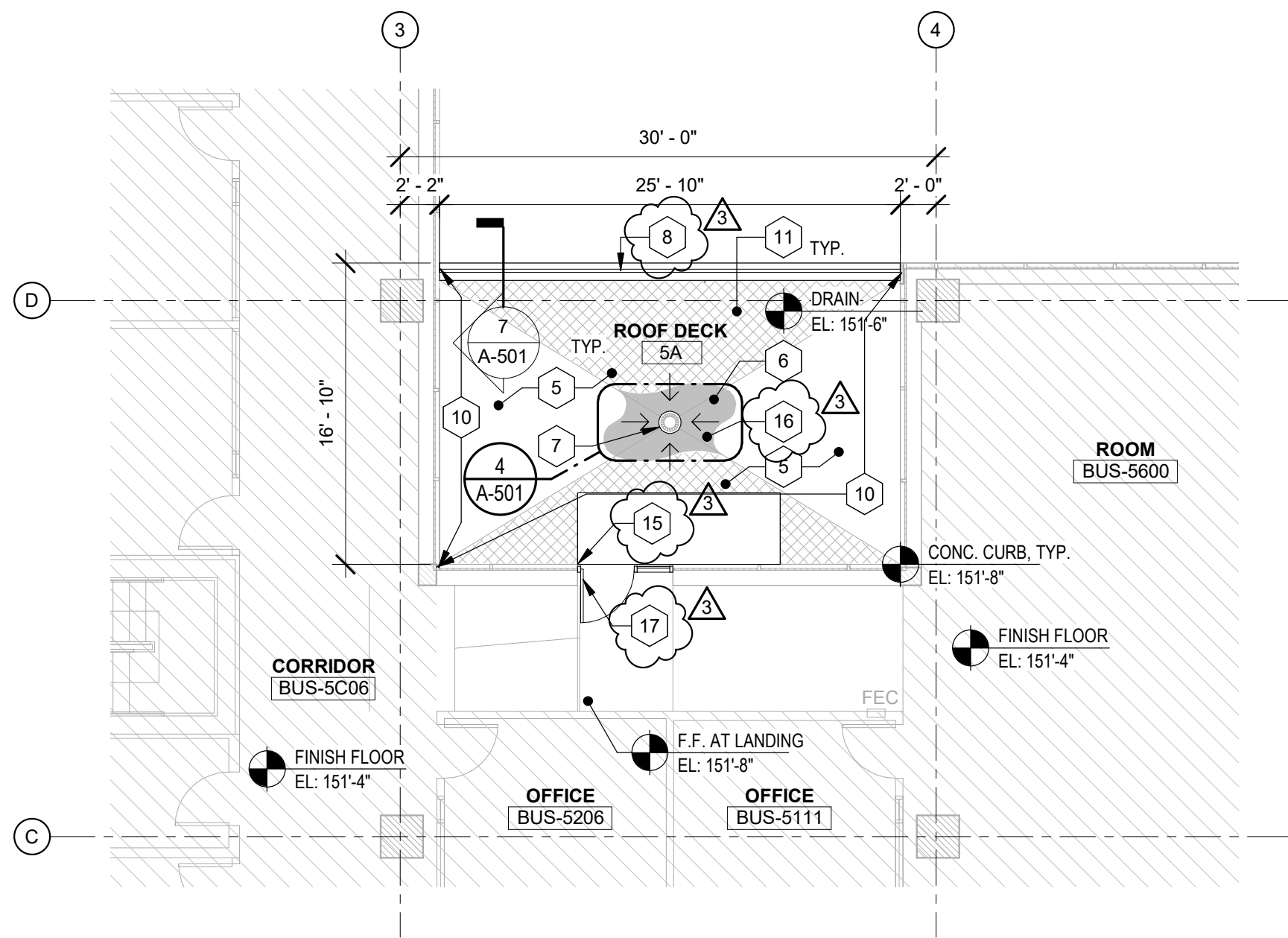
3 RAMP ELEVATION
1/4" = 1'-0"



1 OVERALL LEVEL 4 PLAN
3/64" = 1'-0"



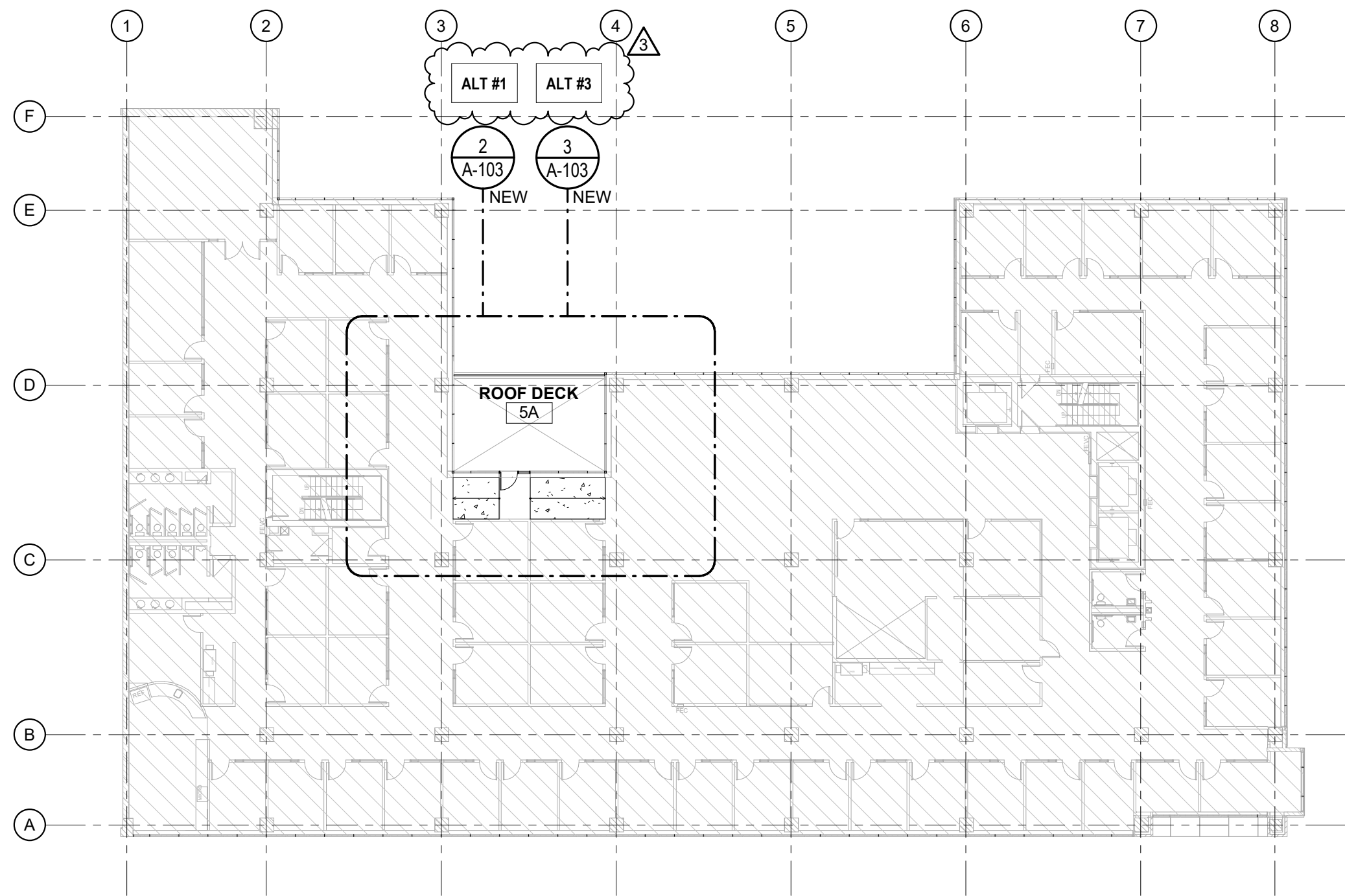
2 ROOF DECK PLAN 4B
1/8" = 1'-0"



2 ROOF DECK 5A PLAN

1/8" = 1'-0"

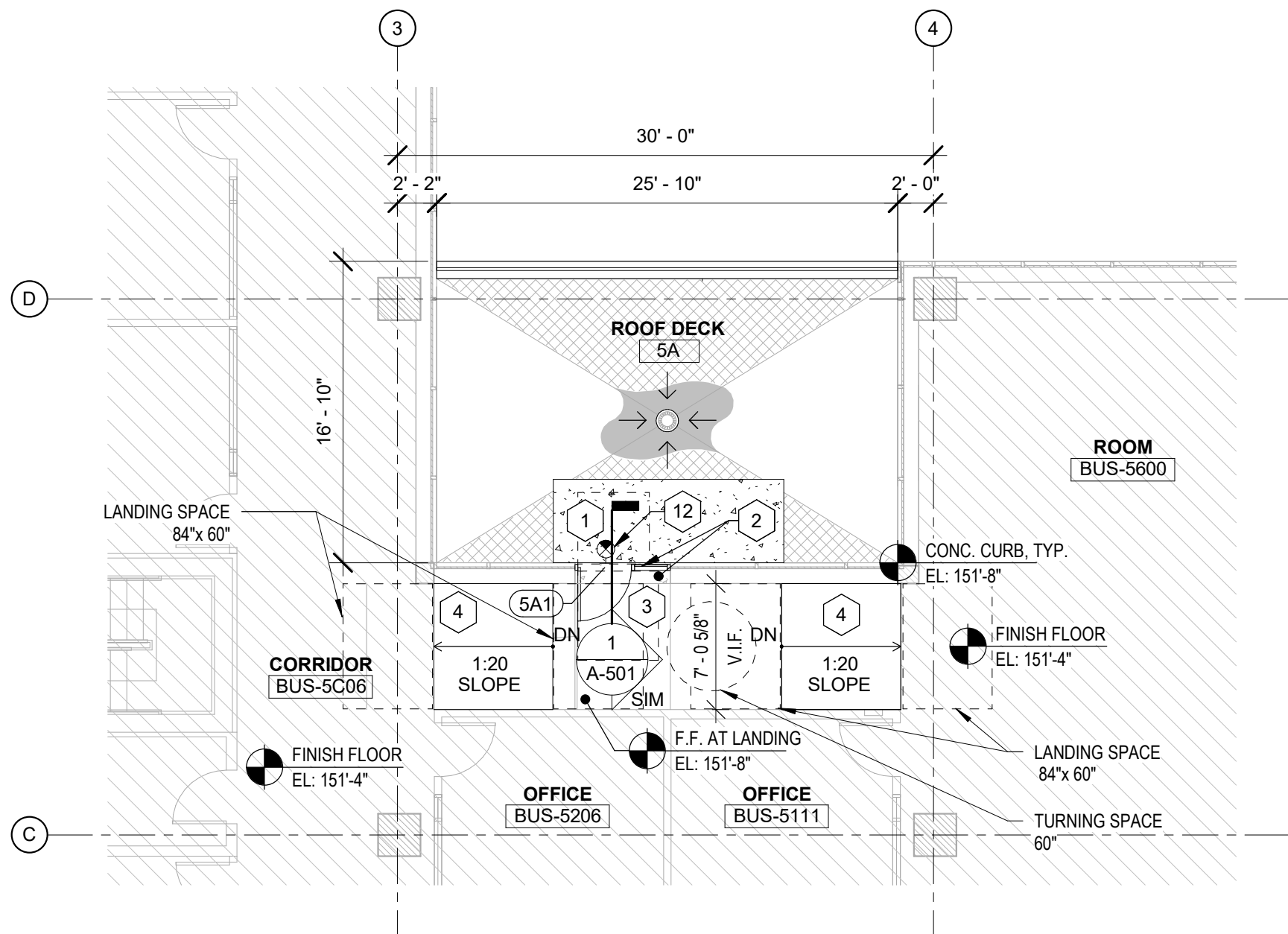
ALT #1



1 OVERALL LEVEL 5 PLAN

3/64" = 1'-0"

ALT #3



3 ROOF DECK 5A PLAN

1/8" = 1'-0"

ALT #3

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PLAN KEY NOTES

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- PROVIDE (N) LANDINGS AT INTERIOR SIDE OF DOORS. FINISH WITH CARPET TO MATCH EXISTING.
- (N) SLOPED RAMP FROM (E) STRUCTURAL SLAB TO (N) DOOR LANDING. FINISH WITH CARPET TO MATCH EXISTING.
- APPLY DEX-FLEX ELASTOMETRIC WATERPROOFING / POLYACRYLATE PEDESTRIAN TRAFFIC TOPPING SYSTEM, OR EQUAL, OVER (E) CONCRETE DECK. CONTINUE PRODUCT SEAMLESSLY UP (E) CONCRETE CURB AND STOP AT BRICK FLASHING. PATCH AND REPAIR FLASHING AS NEEDED.
- BUILD-UP AREA AROUND (E) ROOF DRAIN WITH DEX-FLEX A-81 RESURFACING UNDERLAYMENT, OR EQUAL, TO PROVIDE NO GREATER THAN 2% SLOPE TOWARDS (E) ROOF DRAIN. FEATHER PRODUCT TOWARDS (E) CURB TO MATCH (E) 4" HEIGHT AT CURB. SLOPE TO (E) DRAIN.
- (E) ROOF DRAIN TO REMAIN. PREP, CLEAN AND PLUG (E) DRAIN FOR SEAMLESS APPLICATION OF DEX-FLEX ELASTOMETRIC WATERPROOFING / POLYACRYLATE PEDESTRIAN TRAFFIC TOPPING SYSTEM, OR EQUAL, TO BE CONTINUOUSLY COATED FROM SLOPED ROOF DECK INTO DRAIN 4". REMOVE PLUG WHEN COMPLETE AND TOP WITH FLUSH, ADA COMPLIANT DRAIN COVER.
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- NOT USED
- PROVIDE RETROFIT WEEP HOLES TO ENSURE WEEP HOLES EVERY 32" ABOVE STOREFRONT.
- BUILD-UP OF ROOF DECK W/ UNDERLAYMENT TO MAINTAIN 2% SLOPE OR LESS.
- NEW WALL MOUNTED ELECTRICAL EMERGENCY EXIT SIGNAGE WITH BATTERY BACKUP. (LITHONIA WET LOC. EXTERIOR, GREEN) AT 8'-6" A.F.F. TIE INTO (E) CORRIDOR LIGHTING CIRCUIT.
- (E) ELECTRICAL EMERGENCY EXIT SIGNAGE TO REMAIN.
- NOT USED
- FILL CORNER WITH CONCRETE PATCH, SEAL WITH ROOF DECK & CAULK.
- SCARIFY THE CONCRETE SURFACE. PATCH AREAS WITH SPALLING & PREP PER MANUFACTURER INSTRUCTIONS TO RECEIVE WALKABLE DEX-FLEX ELASTOMETRIC WATERPROOFING / POLYACRYLATE PEDESTRIAN TRAFFIC TOPPING SYSTEM.
- EXISTING DOOR TO REMAIN.

LEGEND:

- NO WORK
- EXISTING CONSTRUCTION TO REMAIN
- NEW CONSTRUCTION
- NEW DOOR W/ ADA COMPLIANT DOOR CLEARANCE
- NEW ASF WINDOW
- LIGHTWEIGHT CONCRETE TOPPING BUILD-UP
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- BUILD-UP OF ROOF DECK W/ UNDERLAYMENT
- WALL MOUNTED ELECTRICAL EXIT SIGNAGE



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Drainage Repair

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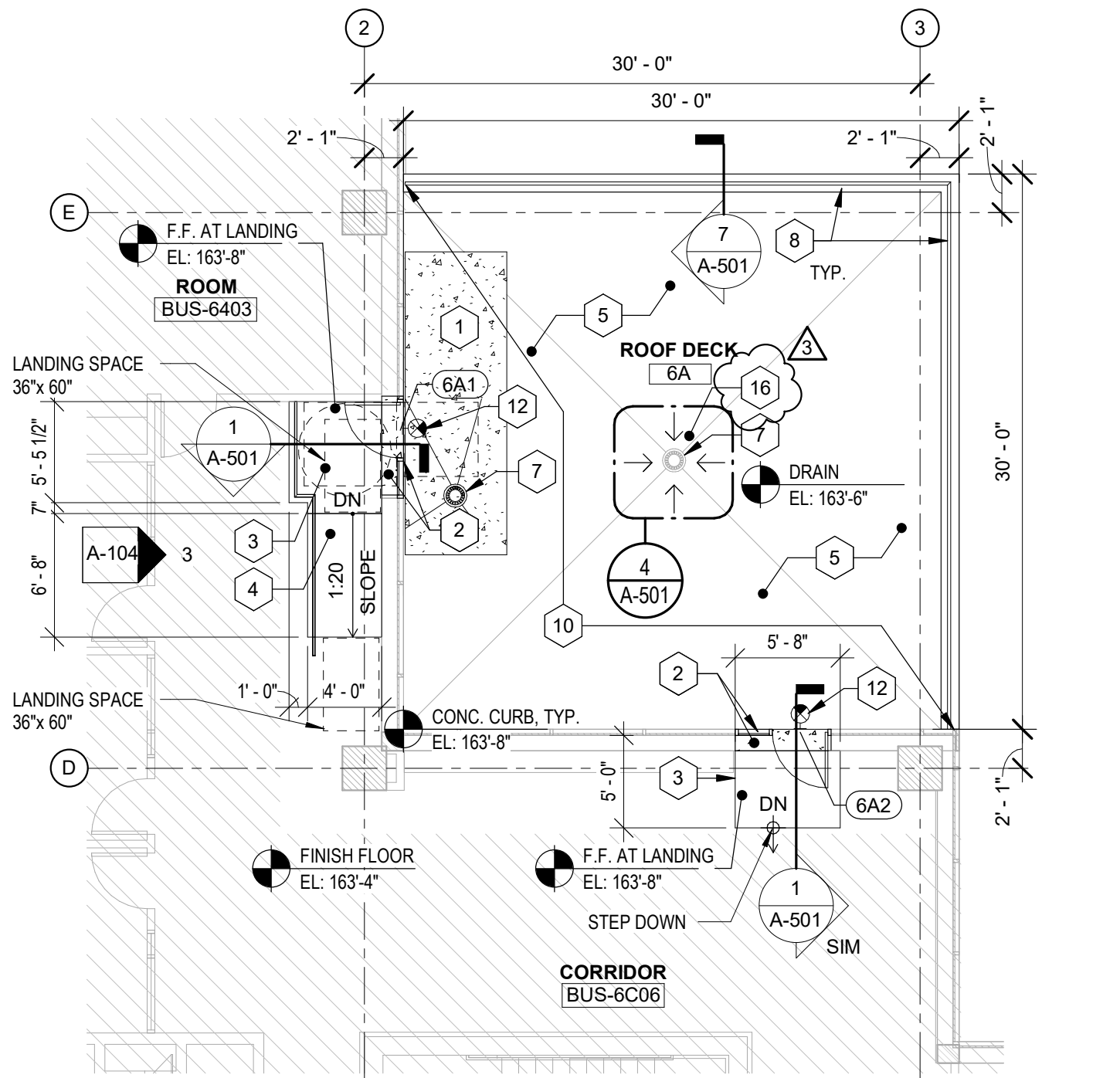
DRAWN BY: MS CHECKED BY: MB
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LEVEL 5 ENLARGED ROOF DECK
PLAN

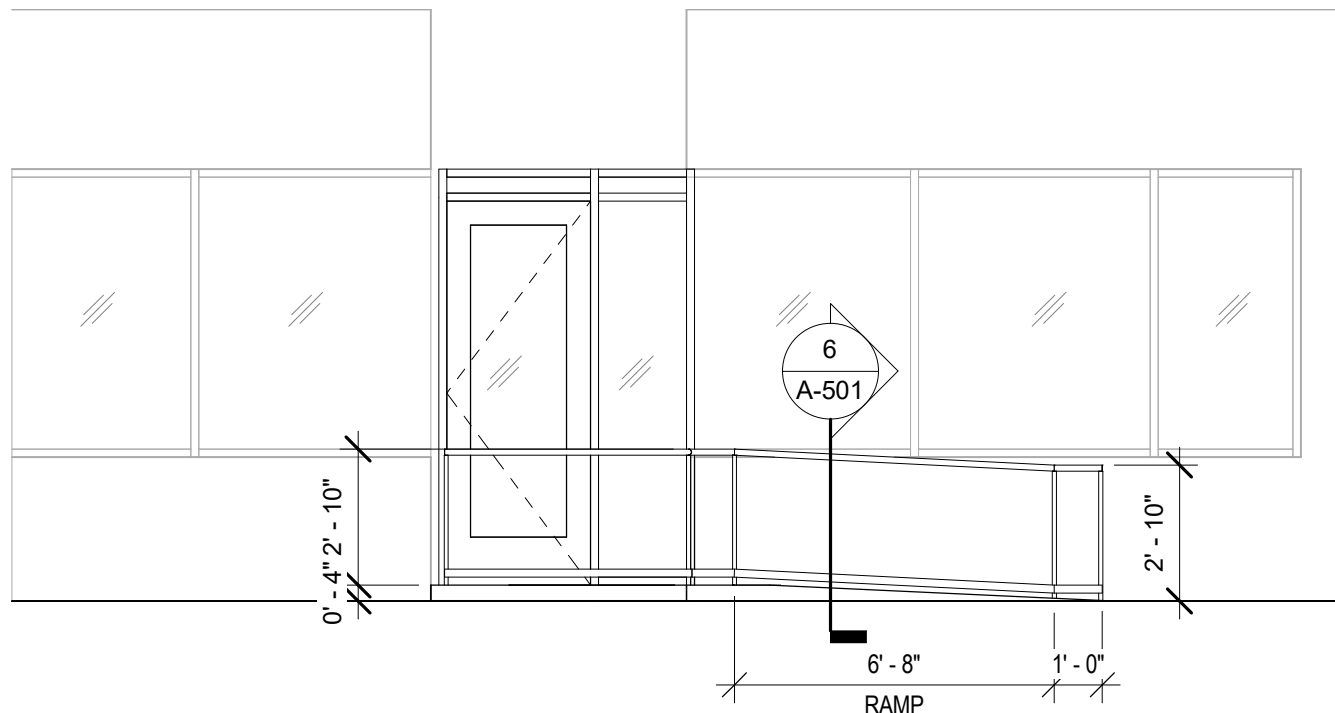
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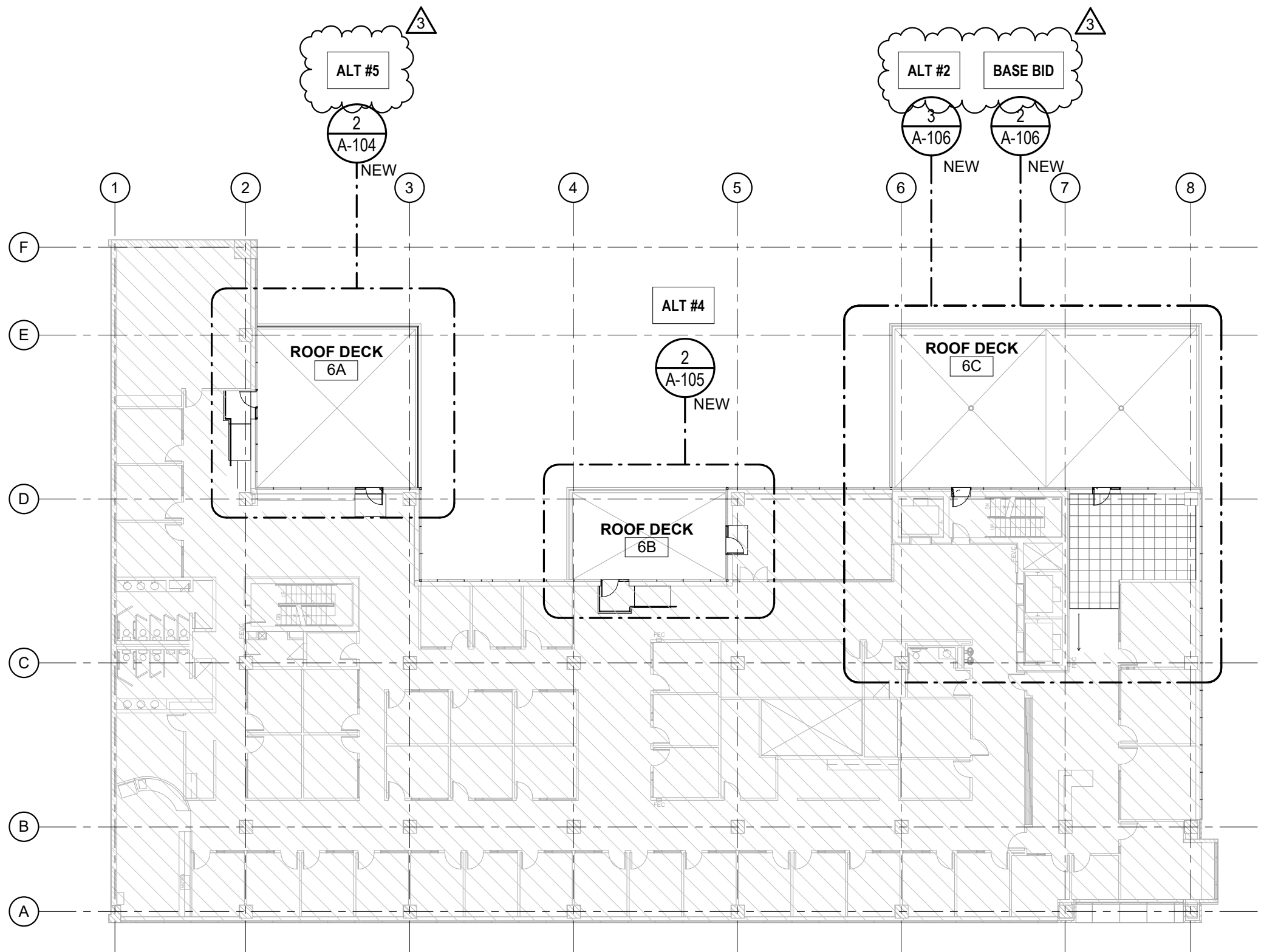
ALT #3



2 ROOF DECK 6A PLAN
1/8" = 1'-0"
ALT #5



3 RAMP ELEVATION
1/4" = 1'-0"
ALT #5



1 OVERALL LEVEL 6 PLAN
3/64" = 1'-0"
ALT #5

GENERAL NOTES

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- (N) SHEET METAL CORPING OVER TOP OF (E) BRICK WALL ROWLOCK. SAND, PREP, & PAINT GUARDRAILS TO MATCH (E) COLOR THEN REINSTALL (E) GUARD RAIL AT TOP OF BRICK WALL LOCATIONS. (ADD ALT #8)
- NOT USED
- PROVIDE RETROFIT WEEP HOLES TO ENSURE WEEP HOLES EVERY 32" ABOVE STOREFRONT.
- NOT USED
- NEW WALL MOUNTED ELECTRICAL EMERGENCY EXIT SIGNAGE WITH BATTERY BACKUP, (LITHONIA WET LOC, EXTERIOR, GREEN) AT 8'-6" A.F.F. TIE INTO (E) CORRIDOR LIGHTING CIRCUIT.
- NOT USED
- NOT USED
- NOT USED
- SCARIFY THE CONCRETE SURFACE. PATCH AREAS WITH SPALLING & PREP PER MANUFACTURER INSTRUCTIONS TO RECEIVE WALKABLE DEX-FLEX ELASTOMETRIC WATERPROOFING / POLYACRYLATE PEDESTRIAN TRAFFIC TOPPING SYSTEM.
- NOT USED

LEGEND:

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- EXISTING CONSTRUCTION TO REMAIN
- NEW CONSTRUCTION
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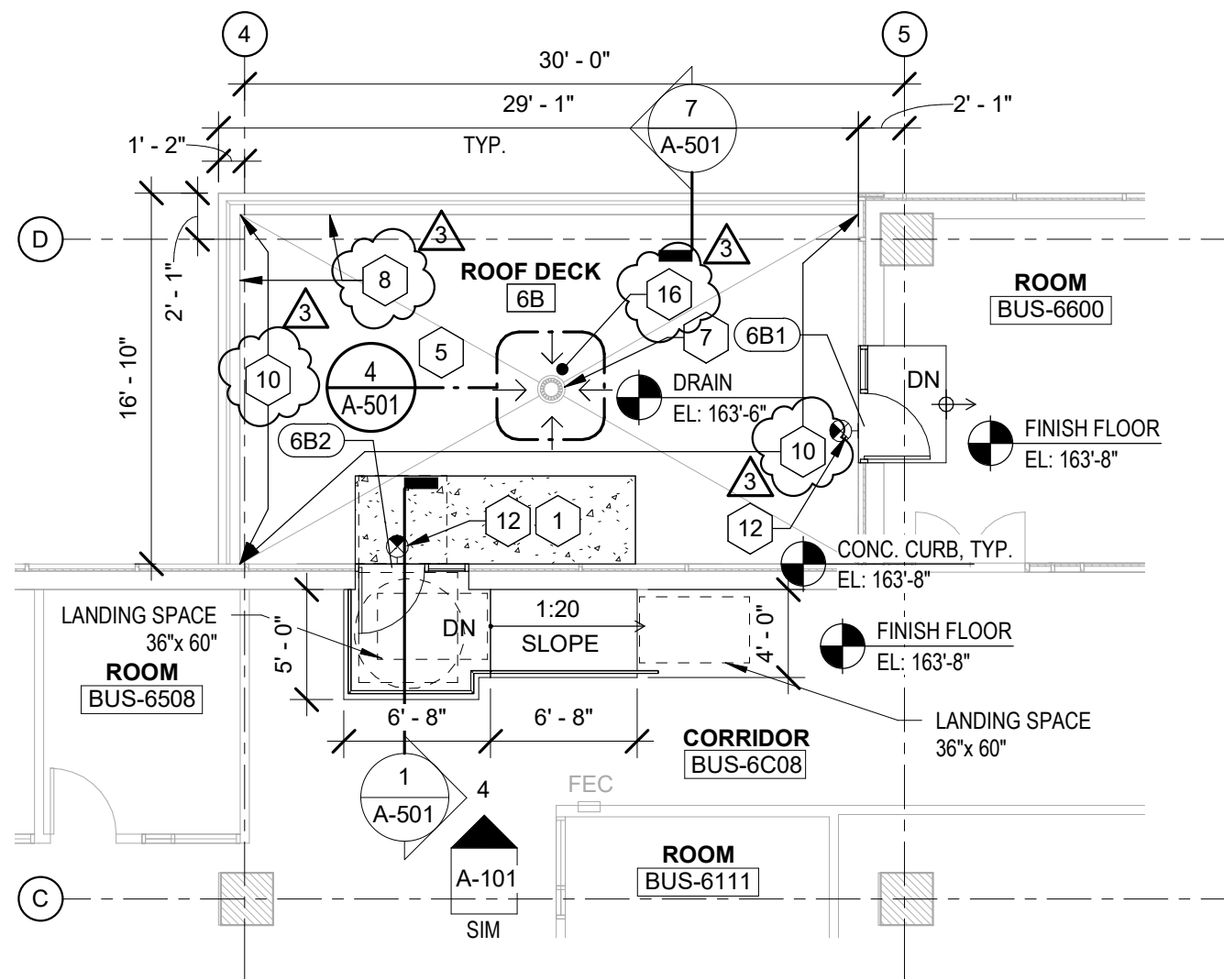
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CHECKED BY: MB
INITIAL DATE: 02/04/2022

LEVEL 6 ENLARGED ROOF DECK
PLANS

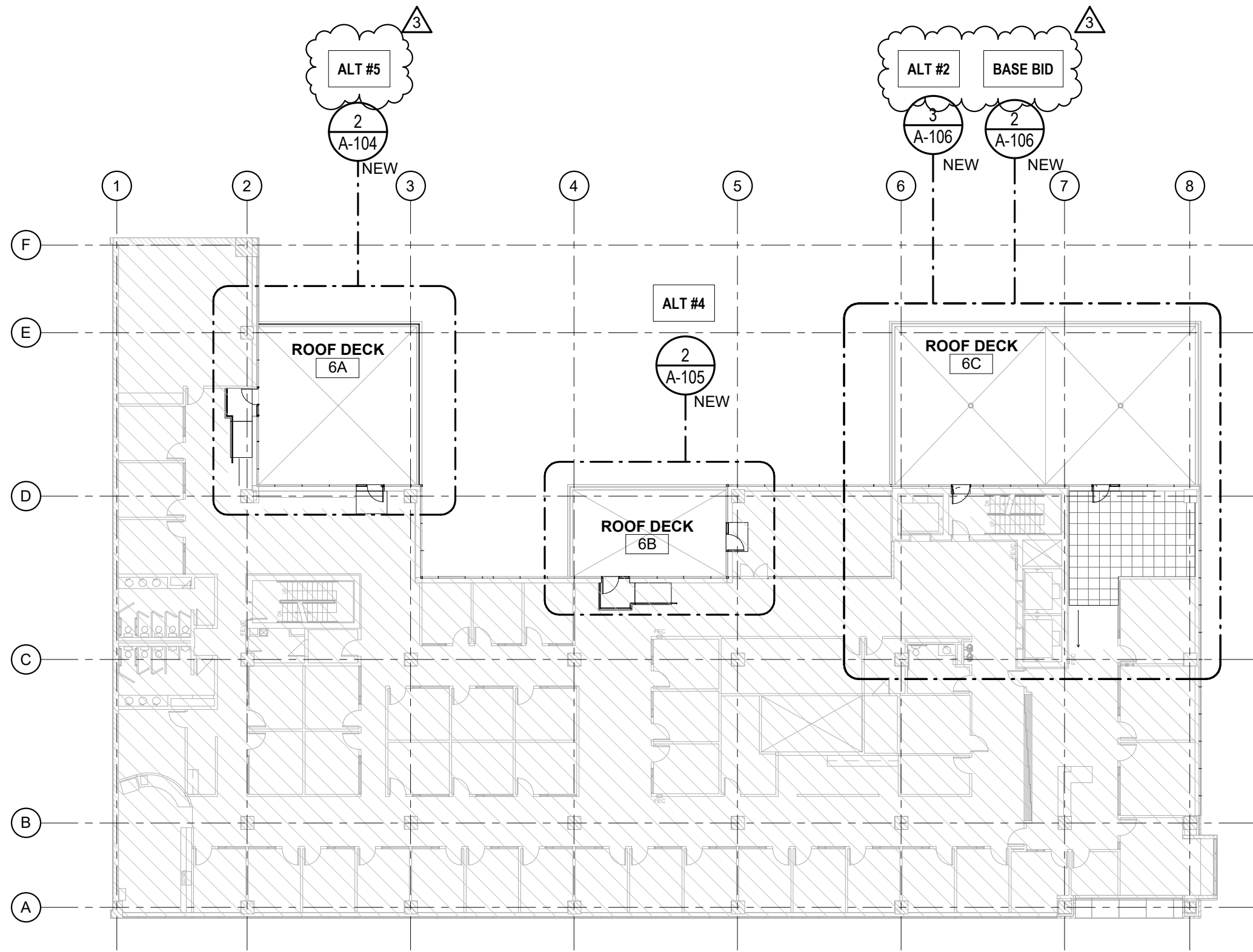
A-104

ALT #5



2 ROOF DECK 6B PLAN
1/8" = 1'-0"

ALT #4



1 OVERALL LEVEL 6 PLAN
3/64" = 1'-0"

ALT #4

GENERAL NOTES

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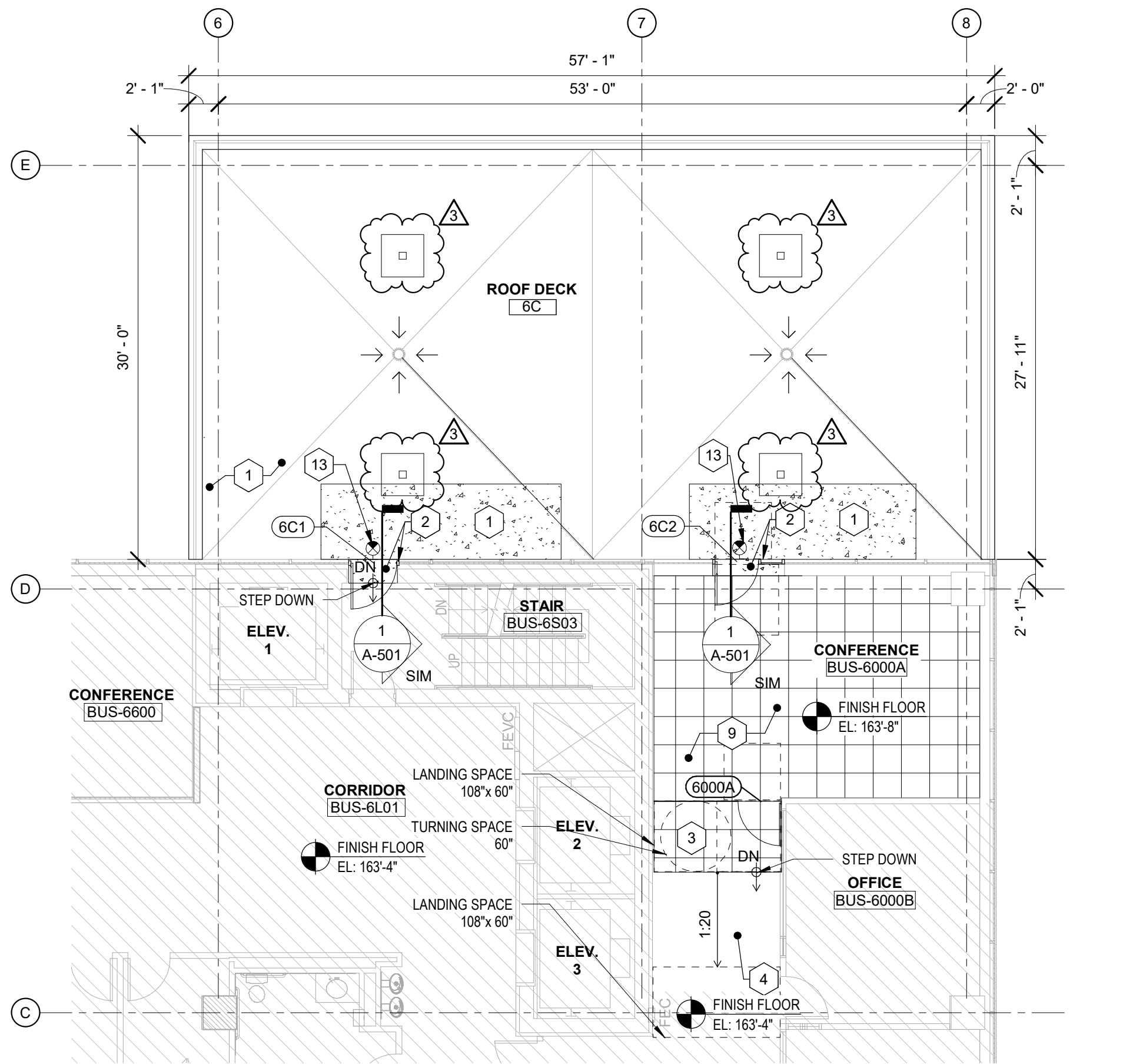
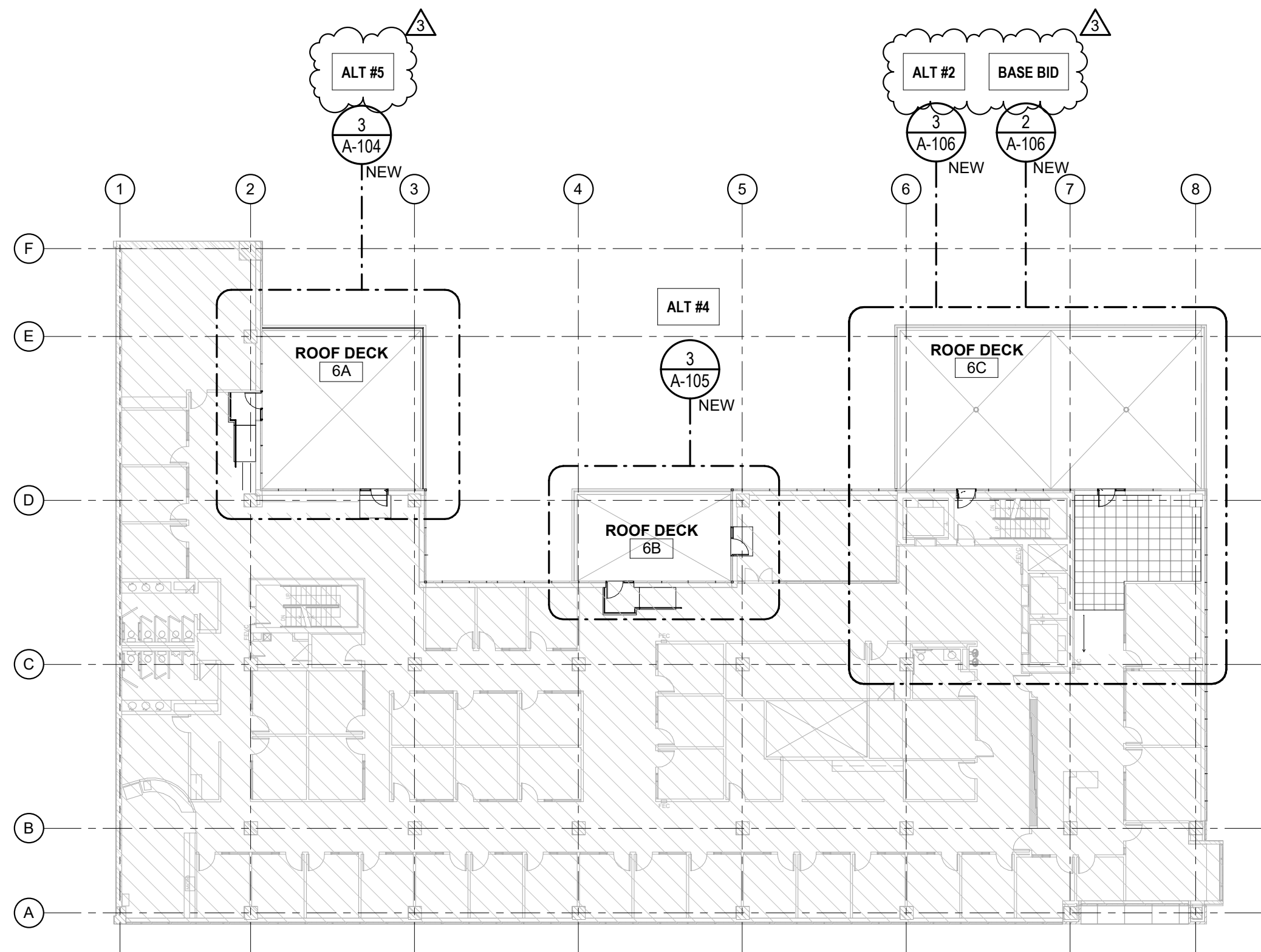
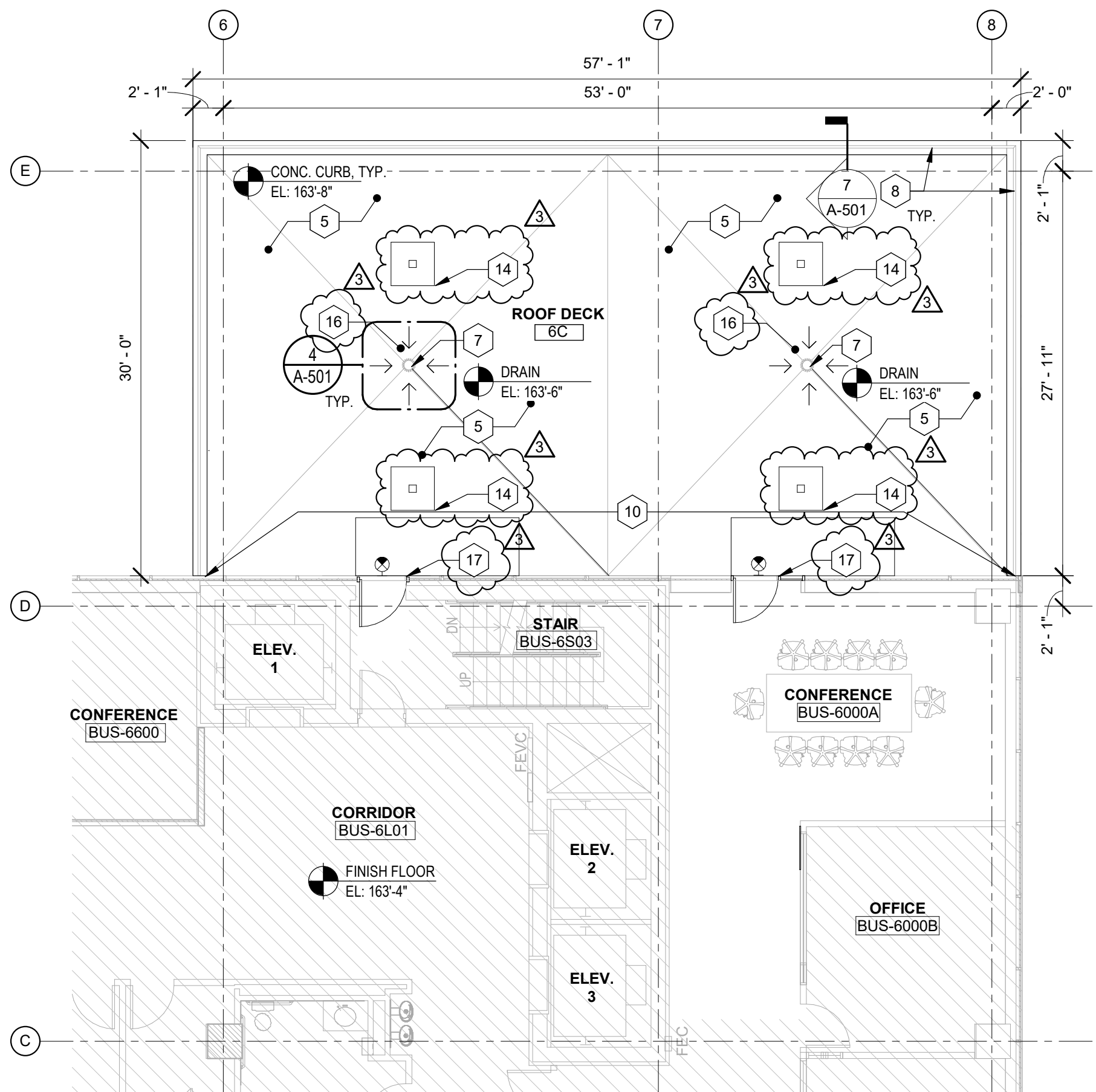
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10.20.23	OWNER REVISIONS #2

DRAWN BY: MS CHECKED BY: MB
PROJECT NO.: 2154cub INITIAL DATE: 02/04/2022

LEVEL 6 ENLARGED ROOF DECK
PLANS

A-105

ALT #4



GENERAL NOTES

- DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. ANY DISCREPANCIES IN DRAWINGS AND/OR EXISTING CONDITIONS SHOULD BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.
- THE ARCHITECT DISCLAIMS ANY RESPONSIBILITIES AND/OR KNOWLEDGE OF ASBESTOS. THE OWNER ACCEPTS ALL RESPONSIBILITY FOR REMOVAL AND DISPOSAL OF ASBESTOS IF DISCOVERED.
- ARCHITECT HAS LISTED FLOOR AND DRAIN ELEVATIONS BASED ON ORIGINAL CONSTRUCTION DOCUMENTS BUT HAS NOT FIELD VERIFIED DUE TO (E) DECKS. CONTRACTOR TO VERIFY DRAIN AND ROOF SLOPE CONDITIONS AFTER DEMOLITION IS COMPLETE. CONTRACTOR TO NOTIFY ARCHITECT OF ANY VARIATION AND ACCOUNT FOR RAMP SLOPE ADJUSTMENTS IN BIDS AS UNIT COST PER LINEAR FOOT.
- NEW CONSTRUCTION MUST ALIGN WITH EXISTING WALLS AND/OR ELEMENTS. WALL AND CEILING TEXTURES MUST MATCH AND BE BLENDED TO MEET OWNERS AND ARCHITECT'S APPROVAL.
- ALL DIMENSIONS ARE FROM FACE OF STUD FOR NEW WALLS AND FACE OF FINISHED WALLS FOR EXISTING WALLS OR CENTERLINE OF GRID UNLESS NOTED OTHERWISE.
- ALL ROUGH AND FINISH CONSTRUCTION SHALL BE IN COMPLIANCE WITH GOVERNING CODES AND REGULATIONS AS A MINIMUM STANDARD.
- PROVIDE SAMPLES TO ARCHITECT FOR APPROVAL PRIOR TO ORDERING ANY MATERIALS.
- ALL INSTALLED MATERIALS AND FINISHES TO MEET ALL APPLICABLE BUILDING CODE REQUIREMENTS, INCLUDING ADA REQUIREMENTS.

PLAN KEY NOTES

- BUILD-UP PREVIOUSLY CUT PORTION OF ROOF DECK TOPPING SLAB WITH LIGHTWEIGHT CONCRETE TO MATCH (E) ROOF CONDITIONS. SLOPE TO (E) ROOF DRAIN(S). MATCH (E) 4" HEIGHT AT CURB. SLOPE TO (E) DRAIN.
- REBUILD CONCRETE CURB APPROX. 4'-6" IN HEIGHT TO MATCH (E) HEIGHT AT CURB. (E) DOOR AND STOREFRONT SYSTEM REINSTALLED ON (N) CONCRETE CURB. MAINTAIN ADA COMPLAINT THRESHOLD BETWEEN (E) ROOF DECK AND (N) INTERIOR LANDINGS.
- PROVIDE (N) LANDINGS AT INTERIOR SIDE OF DOORS. FINISH WITH CARPET TO MATCH EXISTING.
- (N) SLOPED RAMP FROM (E) STRUCTURAL SLAB TO (N) DOOR LANDING. FINISH WITH CARPET TO MATCH EXISTING.
- APPLY DEX-FLEX ELASTOMETRIC WATERPROOFING / POLYACRYLATE PEDESTRIAN TRAFFIC TOPPING SYSTEM, OR EQUAL, OVER (E) CONCRETE DECK. CONTINUE PRODUCT SEAMLESSLY UP (E) CONCRETE CURB AND STOP AT BRICK FLASHING. PATCH AND REPAIR FLASHING AS NEEDED.
- NOT USED
- (E) ROOF DRAIN TO REMAIN. PREP, CLEAN AND PLUG (E) DRAIN FOR SEAMLESS APPLICATION OF DEX-FLEX ELASTOMETRIC WATERPROOFING / POLYACRYLATE PEDESTRIAN TRAFFIC TOPPING SYSTEM, OR EQUAL, TO BE CONTINUOUSLY COATED FROM SLOPED ROOF DECK INTO DRAIN 4". REMOVE PLUG WHEN COMPLETE AND TOP WITH FLUSH, ADA COMPLIANT DRAIN COVER.
- (N) SHEET METAL COPING OVER TOP OF (E) BRICK WALL ROWLOCK. SAND, PREP, & PAINT GUARDRAILS TO MATCH (E) COLOR THEN REINSTALL (E) GUARD RAIL AT TOP OF BRICK WALL LOCATIONS. (ADD ALT #8)
- PROVIDE RAISED FLOOR SYSTEM, RAMP ACCESS FLOORS, OR EQUAL. FINISH WITH CARPET TO MATCH EXISTING.
- PROVIDE RETROFIT WEEP HOLES TO ENSURE WEEP HOLES EVERY 32" ABOVE STOREFRONT.
- NOT USED
- NOT USED
- (E) ELECTRICAL EMERGENCY EXIT SIGNAGE TO REMAIN.
- EXISTING DAVIT PLATE TO REMAIN. CAULK EDGES TO NEW WALKABLE SURFACE.
- NOT USED
- SCARIFY THE CONCRETE SURFACE. PATCH AREAS WITH SPALLING & PREP PER MANUFACTURER INSTRUCTIONS TO RECEIVE WALKABLE DEX-FLEX ELASTOMETRIC WATERPROOFING / POLYACRYLATE PEDESTRIAN TRAFFIC TOPPING SYSTEM.
- EXISTING DOOR TO REMAIN.

LEGEND:

- | | |
|--|--|
| | NO WORK |
| | EXISTING CONSTRUCTION TO REMAIN |
| | NEW CONSTRUCTION |
| | NEW DOOR W/ ADA COMPLIANT DOOR CLEARANCE |
| | NEW ASF WINDOW |
| | LIGHTWEIGHT CONCRETE TOPPING BUILD-UP |
| | UNDERLAYMENT BUILD-UP AROUND (E) DRAIN TO PROVIDE NO GREATER THAN 2% SLOPE ON (E) DECK |
| | BUILD-UP OF ROOF DECK W/ UNDERLAYMENT |
| | WALL MOUNTED ELECTRICAL EXIT SIGNAGE |



CU Denver Business
School 5th, and 6th Floor
Drainage Repair

1475 Lawrence St,
Denver, CO 80202

State Project #: 21-115057



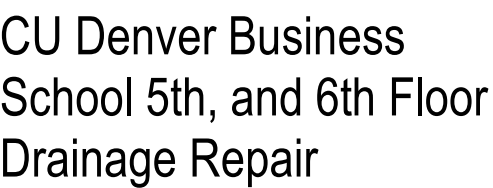
DATE	DESCRIPTION
02.04.22	DESIGN DEVELOPMENT
05.05.23	100% CONSTRUCTION DOCUMENTS
07.10.23	RESPONSE TO CODE REVIEW
08.09.23	OWNER REVISIONS
10.20.23	OWNER REVISIONS #2

DRAWN BY: MS
PROJECT NO.: 2154sub
CHECKED BY: MB
INITIAL DATE: 02/04/2022

LEVEL 6 ENLARGED ROOF DECK
PLANS

A-106

BASE BID ALT #2

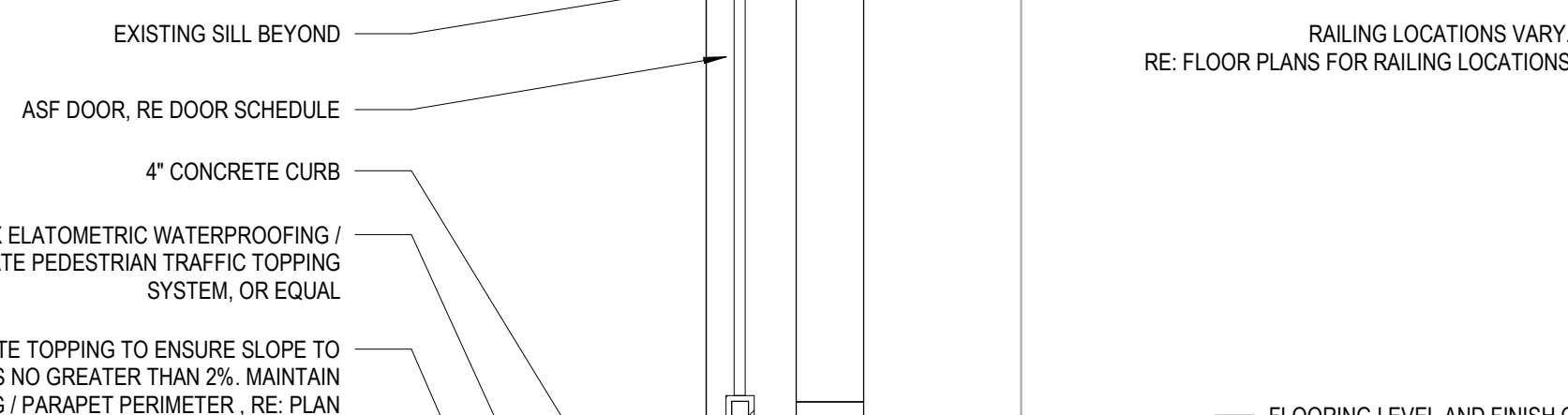


1475 Lawrence St,
Denver, CO 80202

State Project #: 21-115057



3	OVERALL LEVEL 4 PLAN					
	(ALT #6)	4A1	3'-0" X 8'-0"	A		EXISTING OPENING
	(ALT #6)	4A2	3'-0" X 8'-0"	A		EXISTING OPENING
	(ALT #7)	4B1	3'-0" X 8'-0"	A		EXISTING OPENING
	(ALT #7)	4B2	3'-0" X 8'-0"	A		EXISTING OPENING
3	OVERALL LEVEL 5 PLAN					
	(ALT #3)	5A1	3'-0" X 8'-0"	A		EXISTING OPENING
3	OVERALL LEVEL 6 PLAN					
	(ALT #5)	6A1	3'-0" X 8'-0"	A		EXISTING OPENING
	(ALT #5)	6A2	3'-0" X 8'-0"	A		EXISTING OPENING
	(ALT #4)	6B1	3'-0" X 8'-0"	A		EXISTING OPENING
	(ALT #4)	6B2	3'-0" X 8'-0"	A		EXISTING OPENING
3	OVERALL LEVEL 7 PLAN					
	(ALT #2)	6C1	3'-0" X 8'-0"	A		EXISTING OPENING
	(ALT #2)	6C2	3'-0" X 8'-0"	A		EXISTING OPENING
	(ALT #2)	6000A	3'-0" X 8'-0"	A		EXISTING OPENING



DATE	DESCRIPTION
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05.05.23	100% CONSTRUCTION DOCUMENTS
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DETAILS & DOOR SCHEDULE

A-501